



# PRATT INSTITUTE

## THE PRATT MANHATTAN CENTER

144 WEST 14TH STREET, NEW YORK, NY 10011

### DRAWING LIST

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- LPC-02 SITE PLAN
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- LPC-11 PROPOSED BANNER STANCHION
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### COVER SHEET

#### LPC-01

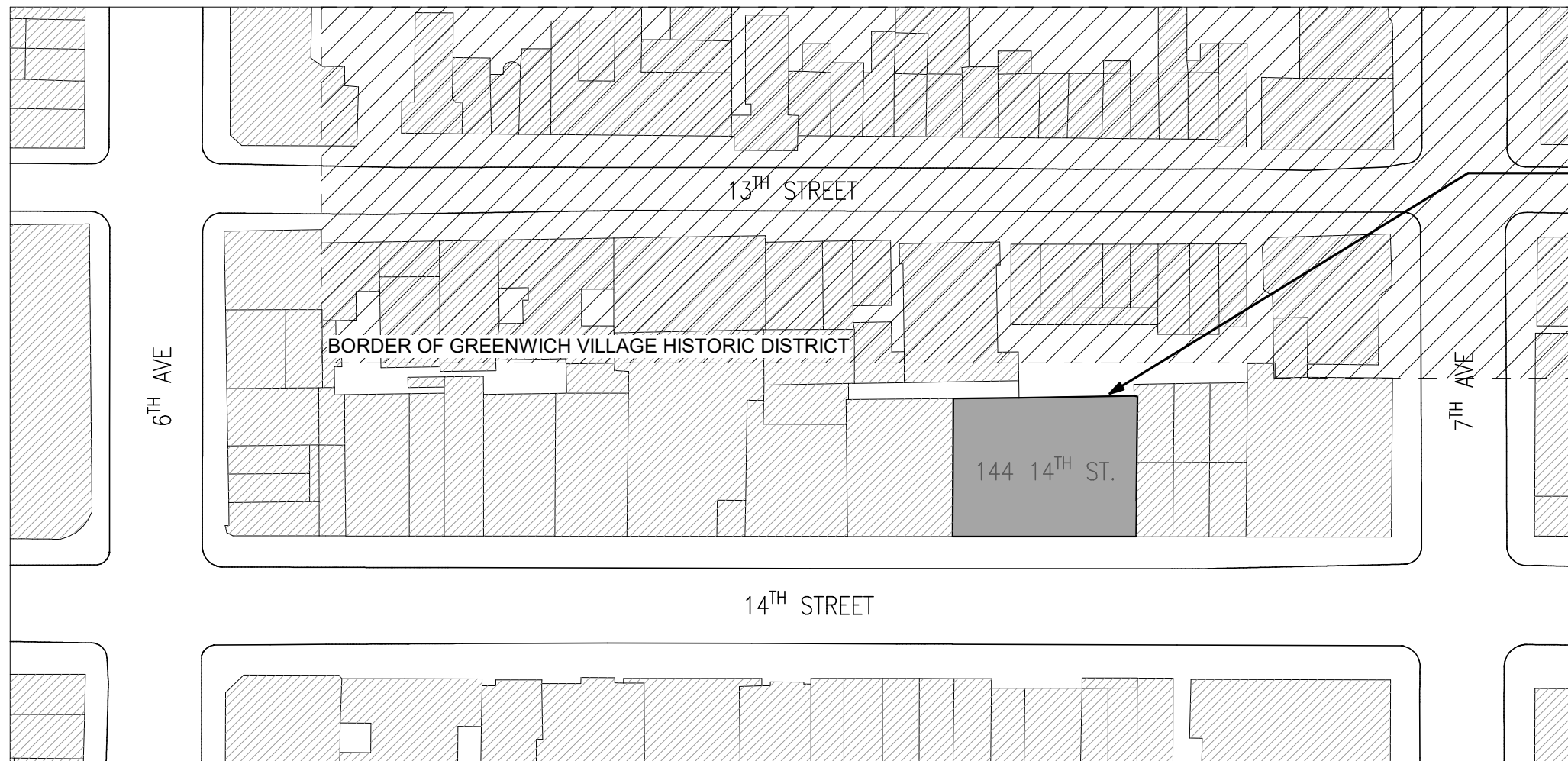
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INDIVIDUAL LANDMARK DESIGNATED  
NOVEMBER 18, 2008

BORDER OF GREENWICH VILLAGE HISTORIC DISTRICT

144 14<sup>TH</sup> ST.

**1 BLOCK PLAN**  
1" = 100'-0"

BUILDING AND ZONING INFORMATION	
ADDRESS:	144 WEST 14TH STREET, NEW YORK, NY 10011
BLOCK:	609
LOT:	7503
ZONING DISTRICT	C6-2A-GENERAL CENTRAL COMMERCIAL DISTRICT
MAP:	8D
EX. LOT DIMENSIONS:	126' X 103'
LOT AREA:	11,970 SF
<u>USE:</u>	
PRIMARY EXISTING USE:	G - EDUCATIONAL
PROPOSED USE(S):	C-MERCANTILE F-3 GALLERY G- EDUCATIONAL

**PROPOSED SCOPE OF WORK**

- 144 WEST 14TH STREET STOREFRONT.
- ADDITION OF BOTTOM STANCHIONS FOR FACADE BANNERS.
- REPLACE REAR YARD SKYLIGHT GLAZING. ( NOT IN PUBLIC WAY)
- REPLACE 4X INTERNAL LIGHTWELL WINDOW SASHES. (NOT IN PUBLIC WAY)

**SITE PLAN**

**LPC-02**

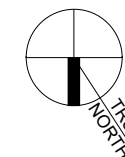
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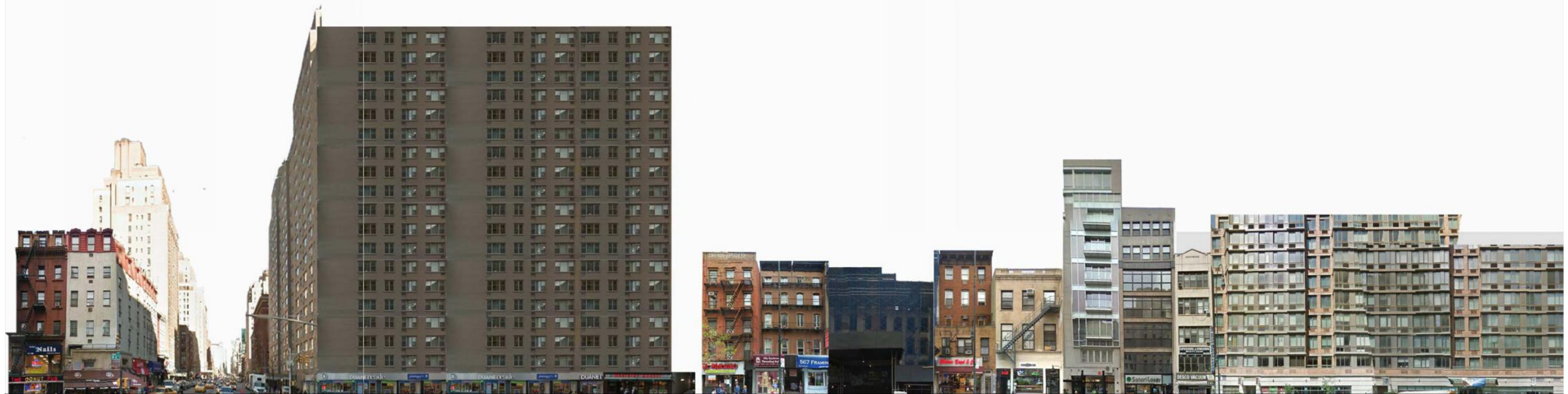
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7TH AVENUE

1 14TH STREET FACING NORTH  
N.T.S.



144 WEST 14TH STREET

7TH AVENUE

2 14TH STREET FACING SOUTH  
N.T.S.

**EXISTING STREET ELEVATIONS**

**LPC-03**

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EXISTING 14TH STREET FACADE



TAX PHOTO  
1940

## EXISTING ELEVATION

### LPC-04

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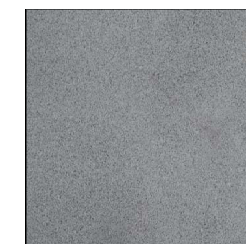
EXISTING BRICK FACADE & PAINTED WOOD WINDOWS



STEEL WINDOW FRAMING AT PROPOSED STOREFRONT. BENJAMIN MOORE RACON FUR, 2126-20



EXISTING LIMESTONE FACADE



EXISTING GRANITE FACADE BASE

## PROPOSED RENDERING OF ELEVATION

**LPC-05**

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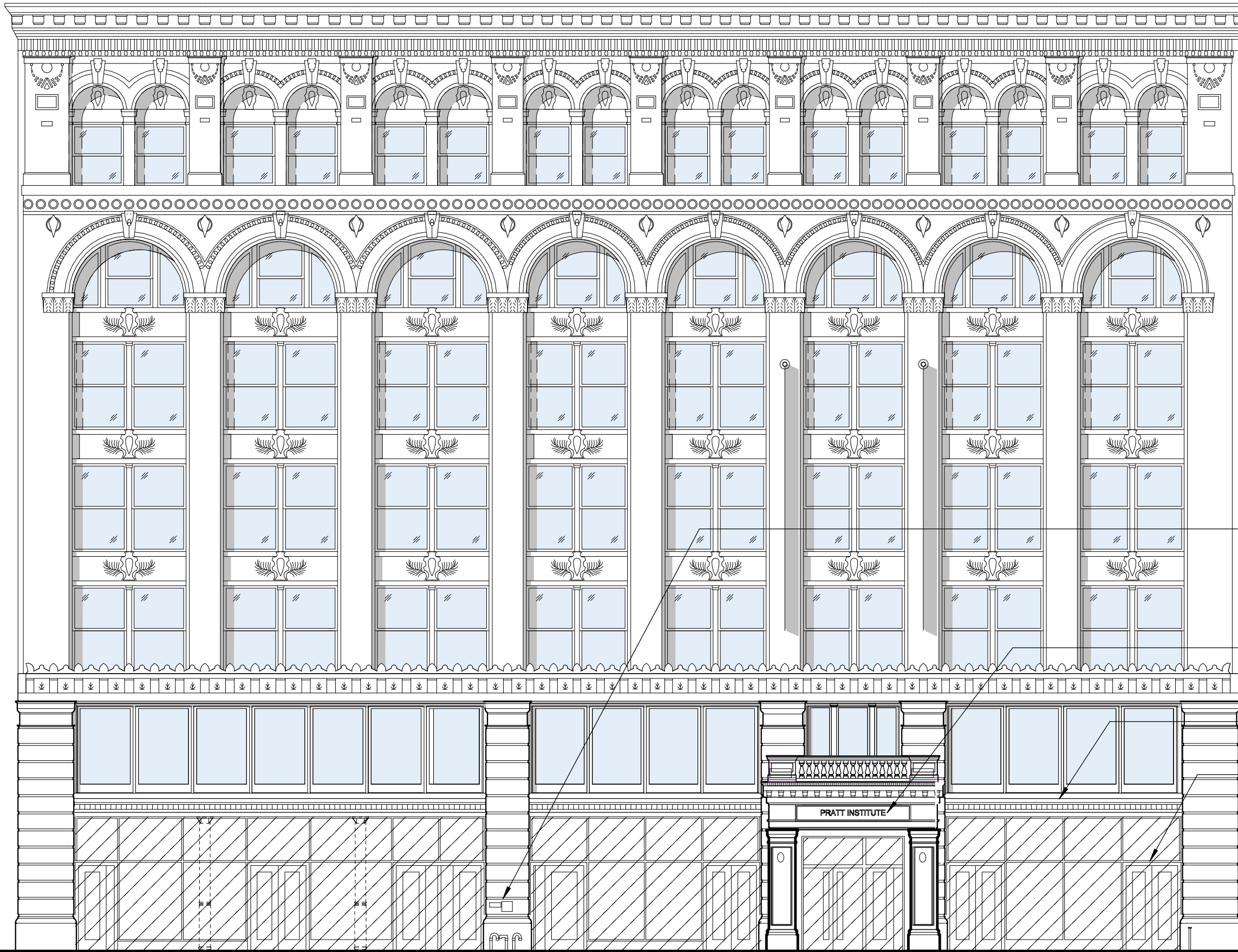
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PROPOSED RENDERING: 14TH STREET FACADE





EXISTING FIRE DEPARTMENT  
CONNECTIONS AND SIGNAGE  
TO REMAIN

EXISTING LETTERING

EXISTING METAL CORNICE

REMOVE AND REPLACE EXISTING NON-  
HISTORIC STOREFRONT AND DOORS

## DEMOLITION ELEVATION

LPC-06

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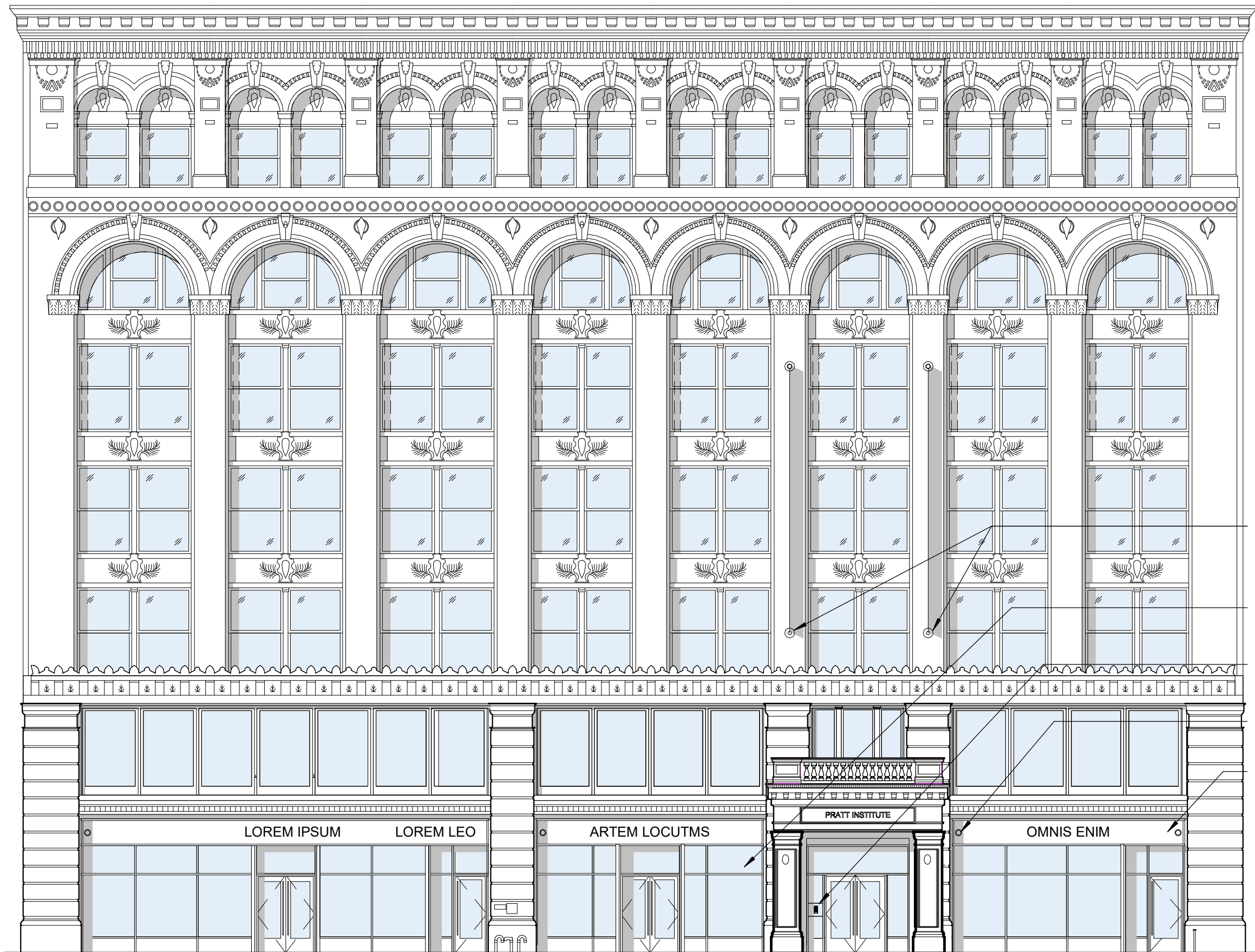
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**1 14TH STREET EXISTING ELEVATION**  
3/32" = 1'-0"



- NEW LOWER STANCHIONS ATTACHED THROUGH BRICK TO MATCH EXISTING.
- NEW PAINTED STEEL STOREFRONT INFILL
- NEW ACCESSIBLE ACCESS CONTROL DOOR OPERATION.
- HALF DOME SECURITY CAMERA MOUNTED TO SIGN BAND
- PAINTED STEEL SIGNBAND

LOREM IPSUM    LOREM LEO

ARTEM LOCUTMS

PRATT INSTITUTE

OMNIS ENIM

## PROPOSED ELEVATION

### LPC-07

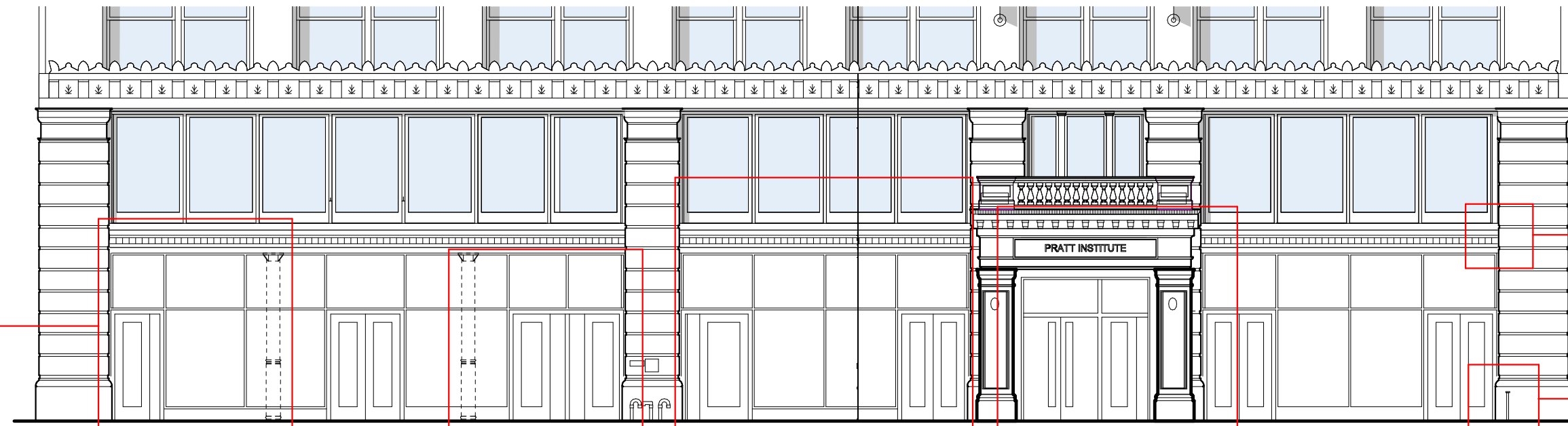
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A.



E.



1 EXISTING STOREFRONT ELEVATION  
3/32" = 1'-0"



F.



B.



C.



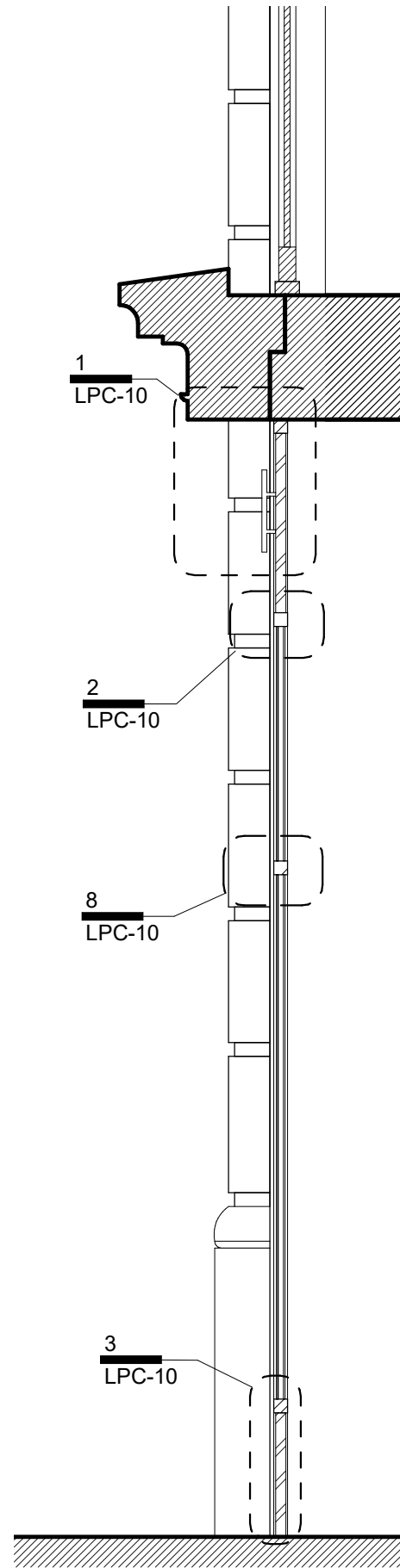
D.

## EXISTING STOREFRONT WITH PHOTOS

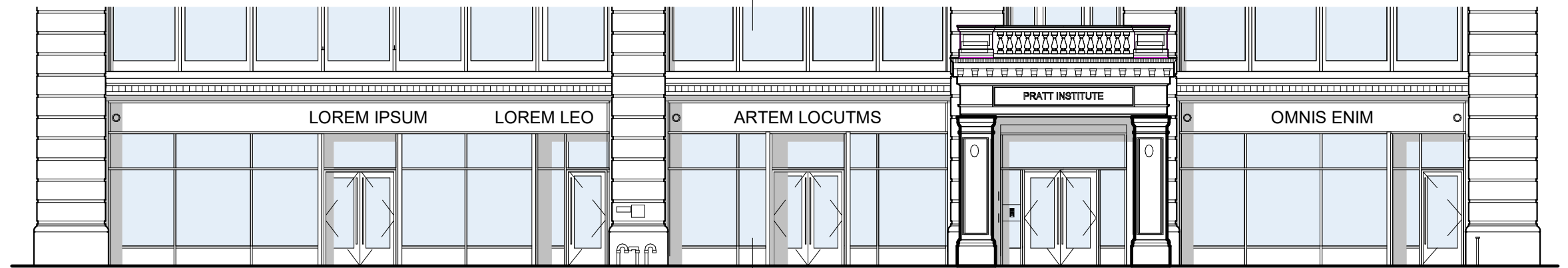
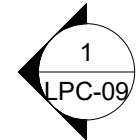
### LPC-08

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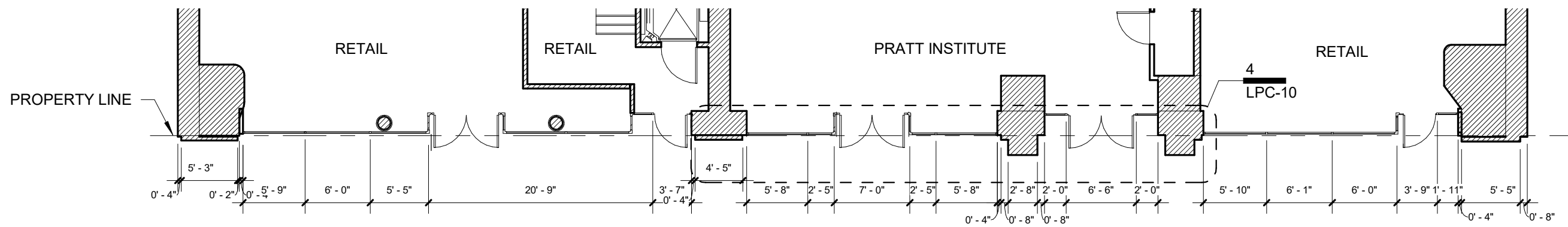




**1 SECTION**  
1/2" = 1'-0"



**2 PROPOSED STOREFRONT ELEVATION**  
3/32" = 1'-0"

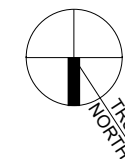


**3 PROPOSED STOREFRONT PLAN**  
3/32" = 1'-0"

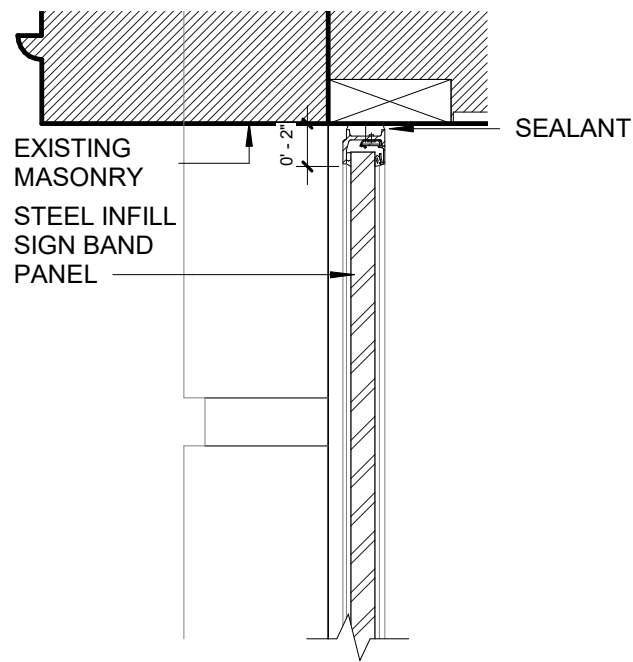
**PROPOSED  
STOREFRONT**

**LPC-09**

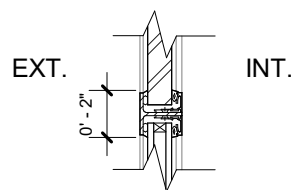
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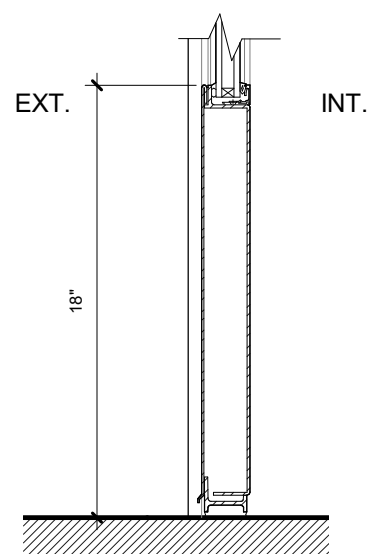




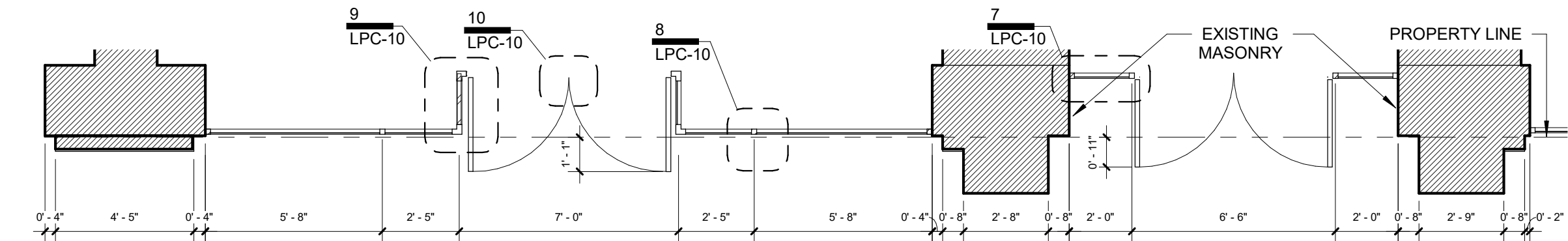
**1 HEAD DETAIL, TYP.**  
1 1/2" = 1'-0"



**2 FIXED / SPANDREL**  
1 1/2" = 1'-0"

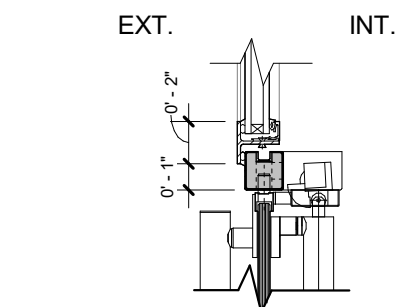


**3 BULKHEAD/ SILL DETAIL**  
1 1/2" = 1'-0"

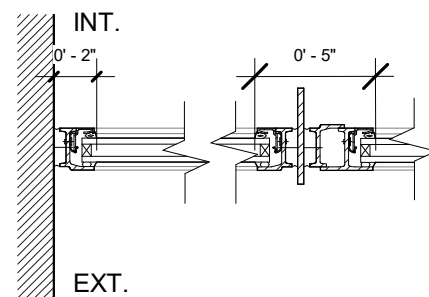


**4 PLAN DETAIL**  
1/4" = 1'-0"

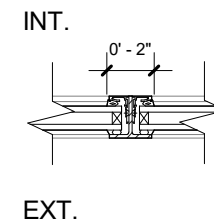
\*REPLACE STOREFRONT IN EXISTING LOCATION



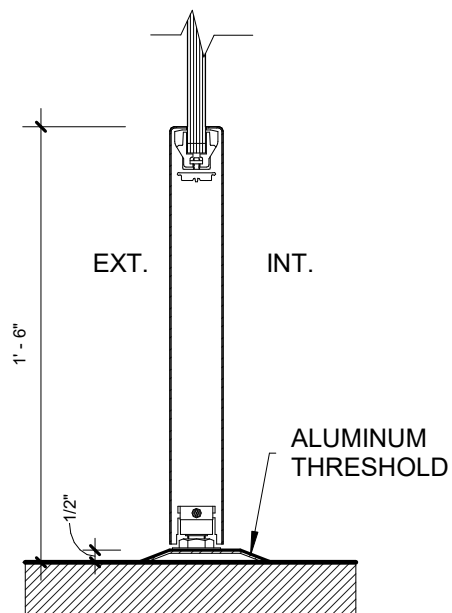
**5 DOOR HEAD**  
1 1/2" = 1'-0"



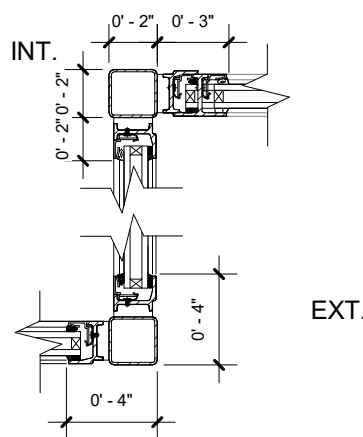
**7 JAMB DETAIL**  
1 1/2" = 1'-0"



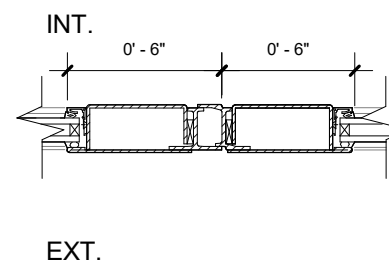
**8 FIXED / FIXED**  
1 1/2" = 1'-0"



**6 DOOR SILL**  
1 1/2" = 1'-0"



**9 CORNER MULLION**  
1 1/2" = 1'-0"



**10 STILES**  
1 1/2" = 1'-0"

# ENLARGED STOREFRONT PLANS & DETAILS

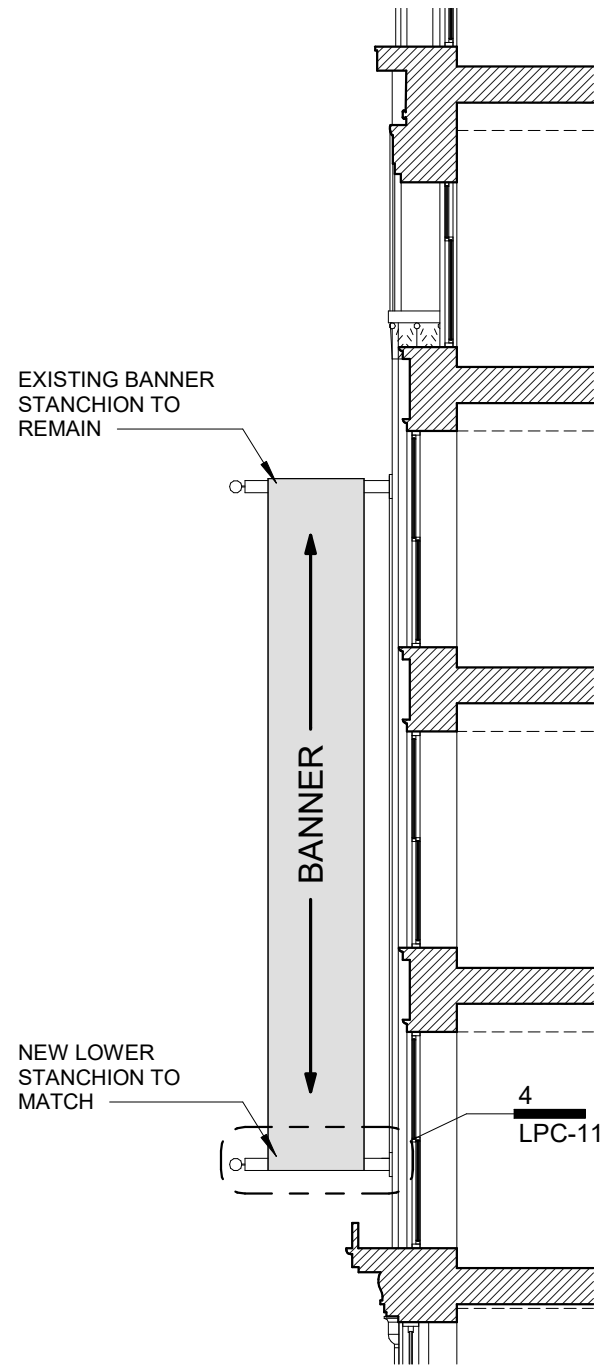
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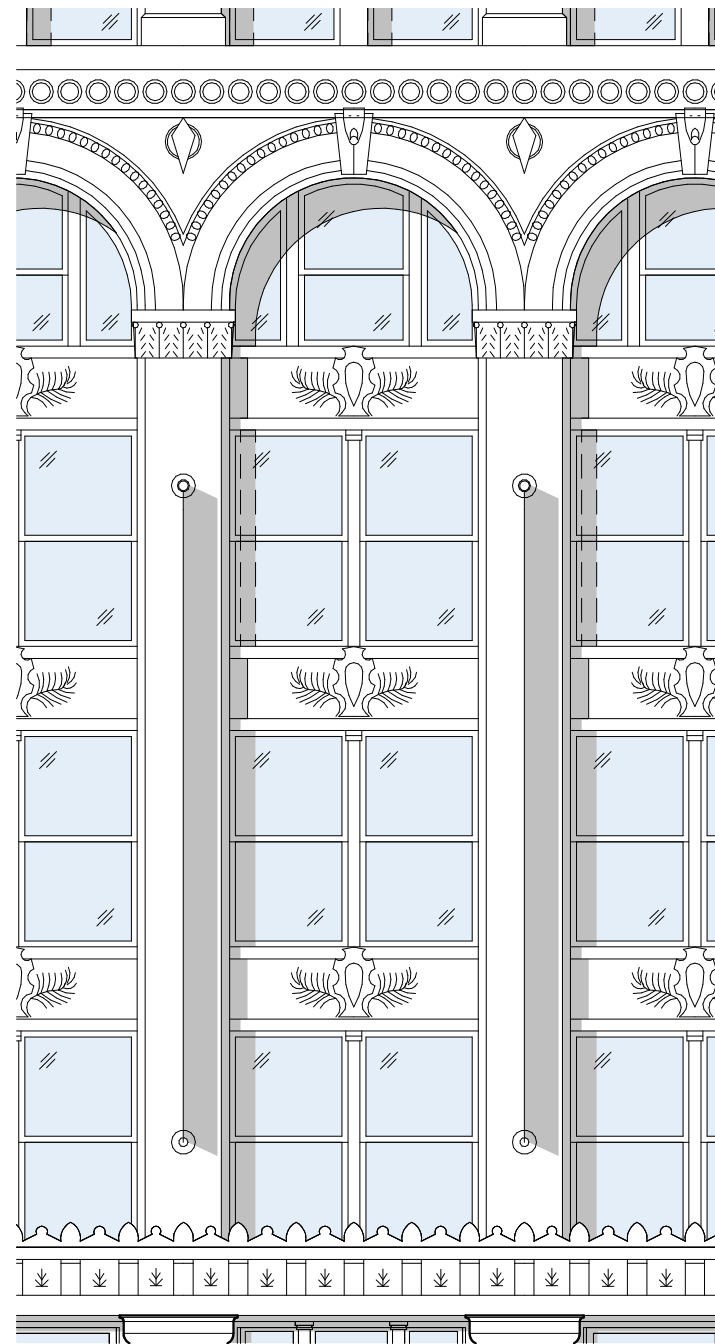




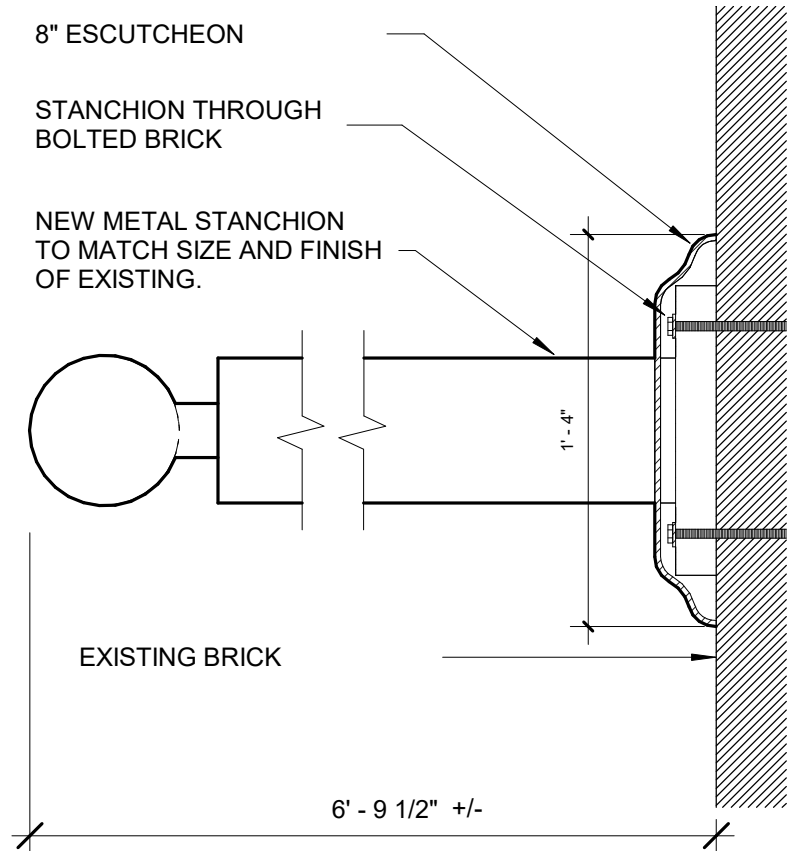
**1** EXISTING SIGNAGE PHOTO  
N.T.S.



**2** PROPOSED BANNER SECTION  
1/8" = 1'-0"



**3** 14TH STREET PROPOSED ELEVATION  
1/8" = 1'-0"



**4** STANCHION MOUNTING DETAIL  
1 1/2" = 1'-0"

## PROPOSED BANNER STANCHION

### LPC-11

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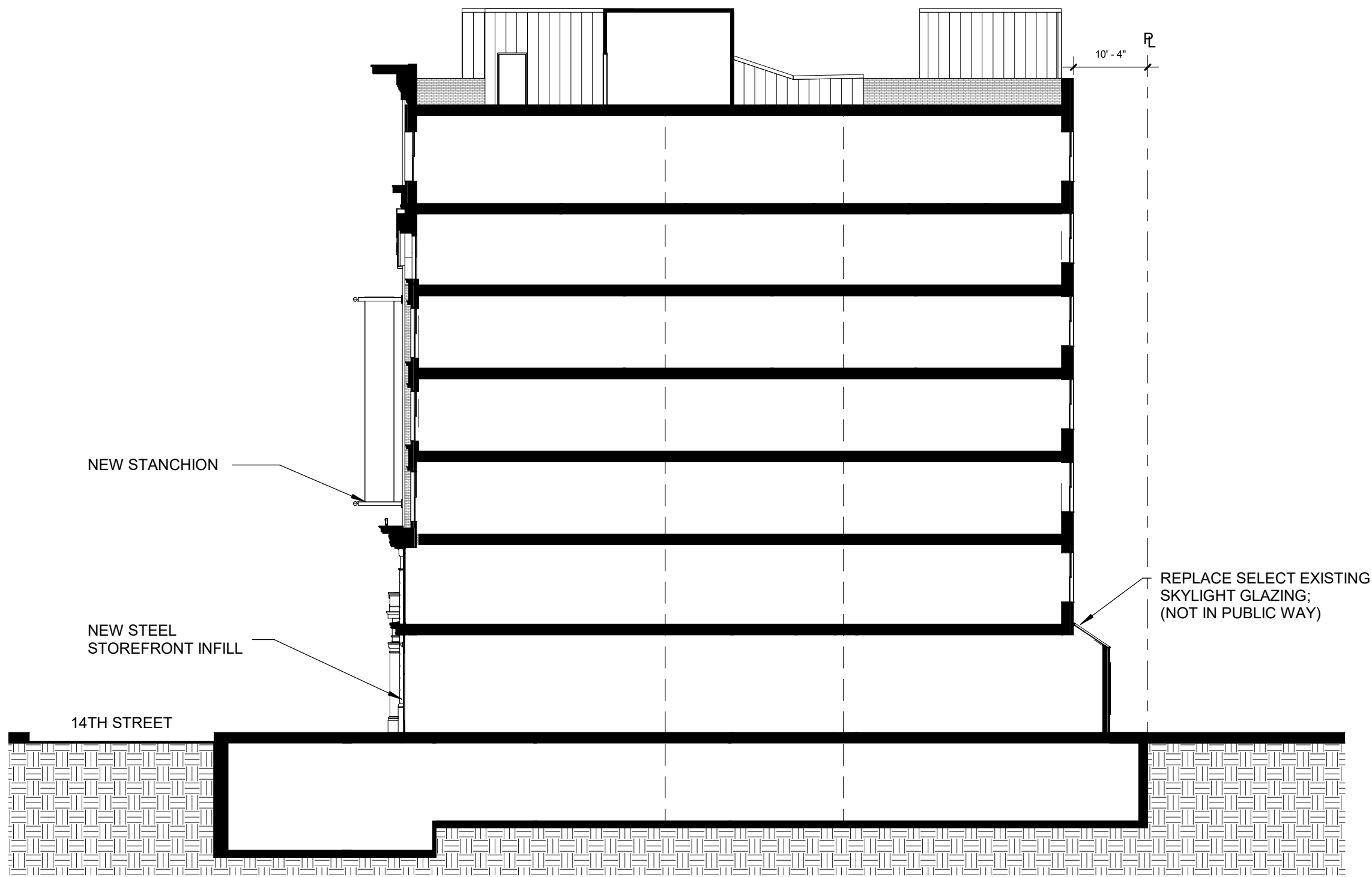
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1 PROPOSED BUILDING SECTION  
 1/16" = 1'-0"

**14TH STREET SECTION**

**LPC-12**

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