

LPC DOCKET #: **19-12195**
STAFF USE ONLY

DATE RECEIVED:

STAFF:

ACTION: *PMW* *CNE* *COFA* *REPORT* *OTHER*:

WORK TYPE:

APPLICATION FORM FOR WORK ON DESIGNATED PROPERTIES

INSTRUCTIONS FOR FILING

A complete application includes this form ("Application Form") and materials needed to describe the project and its effect on the landmark property. Please read the instructions of this form carefully, and provide all the information requested for ALL 6 sections. LPC staff uses this information to determine if the application meets LPC's rules for approval by staff or will require a review by the full Commission at a Public Hearing. Failure to submit complete applications with required materials will result in delays in the review and processing of your application. Filing may be done in person or by mail to the address above.

1. PROPERTY INFORMATION

ADDRESS: 225 East 5th Street			FLOOR/APT. #: Floors 1-5
BOROUGH: Manhattan	BLOCK: 461	LOT: 44	ZONING: R8B

2. PROPOSED WORK (CHECK ALL THAT APPLY)

INTERIOR ALTERATIONS	<input type="checkbox"/> INTERIOR ALTERATIONS <input type="checkbox"/> PLACE OF ASSEMBLY/CERTIFICATE OF OCCUPANCY/ NO WORK PROPOSED
RESTORATION & OTHER FAÇADE WORK	<input type="checkbox"/> RECREATE MISSING ARCHITECTURAL FEATURES <input type="checkbox"/> EXTERIOR REPAIRS (check all that apply): <input type="checkbox"/> Street façade <input type="checkbox"/> Side or rear façade/roof <input type="checkbox"/> LL11
HEATING, VENTILATION & AIR CONDITIONING EQUIPMENT	<input checked="" type="checkbox"/> THRU-WINDOW/LOUVERS & OTHER HVAC EQUIPMENT (check all that apply): <input checked="" type="checkbox"/> Street façade <input checked="" type="checkbox"/> Rear or side façade <input checked="" type="checkbox"/> THRU-WALL HVAC EQUIPMENT: <input checked="" type="checkbox"/> Street façade <input checked="" type="checkbox"/> Rear or side façade <input checked="" type="checkbox"/> OTHER MECHANICAL EQUIPMENT: <input type="checkbox"/> Wall mounted <input checked="" type="checkbox"/> Yard <input type="checkbox"/> Roof <input type="checkbox"/> Exterior Generator
WINDOW & DOOR WORK	<input type="checkbox"/> REPLACE WINDOWS (check all that apply): <input type="checkbox"/> Street-facing façade/s <input type="checkbox"/> Rear or side non-street facing façade <input type="checkbox"/> NEW/MODIFY WINDOW OPENING(S) (check all that apply): <input type="checkbox"/> Street-facing façade/s <input type="checkbox"/> Rear or side non-street facing façade <input type="checkbox"/> REPLACE DOOR(S) or MODIFY DOOR(S)
ADDITIONS & NEW CONSTRUCTION	<input type="checkbox"/> NEW BUILDING <input type="checkbox"/> ROOFTOP ADDITION (check all that apply): <input type="checkbox"/> Mechanical Equipment, Stair or Elevator Bulkhead <input type="checkbox"/> Occupiable <input type="checkbox"/> Solar <input type="checkbox"/> REAR YARD ADDITION (check all that apply): <input type="checkbox"/> Deck <input type="checkbox"/> Occupiable
STOREFRONTS	<input type="checkbox"/> INFILL <input type="checkbox"/> LIGHTING <input type="checkbox"/> SIGNAGE <input type="checkbox"/> AWNINGS <input type="checkbox"/> SECURITY GATE
EXCAVATIONS, SIDEWALKS AND SITEWORK	<input type="checkbox"/> EXCAVATION (check all that apply): <input type="checkbox"/> Underpinning <input type="checkbox"/> No Underpinning <input type="checkbox"/> SIDEWALK PAVING (check all that apply): <input type="checkbox"/> Concrete <input type="checkbox"/> Stone <input type="checkbox"/> Tree Pit <input type="checkbox"/> SUBSURFACE UTILITIES (check all that apply): <input type="checkbox"/> Residential <input type="checkbox"/> Other <input type="checkbox"/> STREET PAVING/STREETBED WORK
OTHER	<input type="checkbox"/> TEMPORARY INSTALLATIONS: <input type="checkbox"/> Sign <input type="checkbox"/> Other <input type="checkbox"/> NEW UNENCLOSED SIDEWALK CAFÉ <input type="checkbox"/> RENEW SIDEWALK CAFÉ LICENSE <input type="checkbox"/> FENCES AND GATES <input type="checkbox"/> BARRIER FREE ACCESS (ADA) <input type="checkbox"/> OTHER (Describe): _____

3. ADDITIONAL INFORMATION

Are you filing to correct or legalize work done without an LPC permit? <input type="checkbox"/> YES If Yes , Warning Letter/NOV#:		
(If YES, please include photos of work in violation)		
Are you filing for a signoff or to amend a permit? <input type="checkbox"/> YES If Yes , Docket#:		
(If YES, please include photos of completed exterior work)		
Are you applying to any of the following? <input checked="" type="checkbox"/> Dept. Of Buildings <input type="checkbox"/> City Planning <input type="checkbox"/> Board of Standards and Appeals		
Is there a facade easement on the property? <input type="checkbox"/> YES (If Yes , please provide contact information for easement holder)		



**Landmarks Preservation
Commission**

4. ATTACH MATERIALS NEEDED TO COMPLETE THE APPLICATION

Required materials must be submitted to complete the application. These materials include documentation that explains the existing and proposed conditions, and clearly illustrates how the proposed work does or does not meet LPC Rules. Depending on the type of work proposed these materials may include drawings, photographs, photo-montages, material samples and written specifications.

For a complete list of materials required for the most common work types, please refer to the **Permit Application Guide** as you complete the application. LPC Rules and guides are available on the website: www.nyc.gov/landmarks. An application that includes all of the required materials can often be expedited. Incomplete submissions will cause delays.

PLEASE NOTE THAT A PERMIT CANNOT BE ISSUED UNTIL THE REQUIRED MATERIALS ARE SUBMITTED AND STAFF HAS DETERMINED THAT THE APPLICATION IS COMPLETE. YOU MAY CONTACT LPC IF YOU NEED INFORMATION ABOUT THE APPLICATION PROCESS, DETAILS ABOUT THE TYPES OF DRAWINGS OR OTHER MATERIALS THAT MAY BE REQUIRED, OR FOR GENERAL GUIDANCE:
TEL: (212) 669-7817/ E-MAIL: INFO@LPC.NYC.GOV.

AN APPLICATION MAY BE COMPLETED BY THE OWNER, TENANT, LESSEE, CO-OP SHAREHOLDER, ARCHITECT, ENGINEER, CONTRACTOR, OR OTHER INDIVIDUAL OR FIRM. PLEASE LIST ALL RELEVANT CONTACTS BELOW, AND CHECK THE PRIMARY CONTACT.

5. CONTACT INFORMATION (Fill out all that apply and indicate who the primary contact should be)

TENANT/LESSEE/CO-OP SHAREHOLDER

☐ **PRIMARY CONTACT**

Name	Russell Cooper	Company/Corporation/Organization	Saelidab Realty Corp. c/o Novur	
Address	801 2nd Avenue, Suite 404	City & State	New York, NY	Zip 10017
Phone	212-518-2693	E-mail	russell@novumpropertiesinc.com	

ARCHITECT/ENGINEER/CONTRACTOR (IF APPLICABLE)

☐ **PRIMARY CONTACT**

Name	Howard L. Zimmerman	Company/Corporation/Organization	Howard L. Zimmerman Architect	
Address	11 West 30th Street	City & State	New York, NY	Zip 10001
Phone	212-564-9393	E-mail	howard@hlzimmerman.com	

PERSON FILING APPLICATION (E.G., EXPEDITOR, ATTORNEY, MANAGING AGENT) ☒ PRIMARY CONTACT

Name	Arie Isaacs	Company/Corporation/Organization:	Howard L. Zimmerman Architect	
Address	11 West 30th Street	City & State	New York, NY	Zip 10001
Phone	212-564-9393	E-mail	aisaacs@hlzimmerman.com	

6. OWNER'S INFORMATION, CONSENT, AND SIGNATURE

I am the owner of the above-listed property. For applications for work on or in a cooperative or condominium building, the "owner" is the Co-op Board or Condominium Association. An officer of the Co-op Board or Condominium Association must sign this application. I am familiar with the work proposed to be carried out on my property and give my permission for this application to be filed. The information entered is correct and complete, to the best of my knowledge.

IMPORTANT: The managing agent of a cooperative or condominium association must be an officer of the board to sign this application

NAME Russell Cooper

TITLE (if applicable) President

COMPANY, CORPORATION, OR ORGANIZATION (if applicable) Saelidab Realty Corp. c/o Novum Properties, Inc.

MAILING ADDRESS 801 2nd Avenue, Suite 404 CITY, STATE, ZIP CODE New York, NY 10017

PHONE 212-518-2693 E-MAIL russell@novumpropertiesinc.com


SIGNATURE OF OWNER OR AUTHORIZED REPRESENTATIVE



May 18, 2017

The New York City Landmarks Preservation Commission
ONE CENTRE STREET, 9TH FLOOR
New York, New York 10007

Delivered by Hand

Re: 225 East 5th Street
New York, New York 10003
Reference #: 17-0039
HVAC Master Plan

To Whom It May Concern:

Howard L. Zimmerman Architects, P.C. (HLZ) has been retained by the Owners of the above building to generate a Master Plan for Apartment HVAC Upgrades throughout the building. The subject building falls under the jurisdiction of the New York City Landmarks Commission (LPC), and as such, we are providing your office with the following information and submittals for your review, comment and/or approval:

Please note, the above subject building is a rental building with many of the apartment units currently occupied. As such, the below scope of work is proposed to be performed on an individual apartment basis, as each respective apartment unit becomes vacant. This plan has been prepared to provide a holistic design that will preserve and improve the look of the existing historic façade by regularizing penetrations and making them less visible by coloring the proposed louver grilles to match the existing surrounding historic brick masonry.

South Facing Principal Façade (Front Building) (please refer to attached drawings and photo sheet).

1. Remove six (6) existing thru-wall gas fired furnaces (typical) and two (2) existing thru-window gas fired furnaces. Refer to detail #2 on drawing M-701.00 for existing thru-wall opening dimensions
2. Enlarge six (6) existing thru-wall openings for installation of new Amana model # PBH113G35CB* thru-wall heat pump units. New thru-wall heat pumps to be provided with new Amana thru-wall sleeve (model # PBWS01A) and rimless architectural grille (model # PBAGK01SB). New architectural grille to match the color of existing surrounding brick, centered beneath existing window and is to be mounted flush with building facade. (typical for all thru-wall heat pump installations, one per apartment). Refer to details #1 and #2 on drawing M-701.00.
3. Install two (2) new thru-window Amana model # PBH113G35CB* heat pump units. New heat pumps to be installed in lower section of existing window opening and is to be provided with new Amana rimless architectural grille (model # PBAGK01SB). New architectural grille to match the color of existing surrounding brick, horizontally centered within existing window frame and is to be mounted flush with building facade. Refer to detail #3 on drawing M-701.00.

North Facing Secondary Façade (Front Building) (please refer to attached drawings and photo sheet).
Note, North Facing Secondary Façade of Front Building is not visible from public thoroughfare.

1. Remove seven (7) existing thru-wall gas fired furnaces (typical). Refer to detail #2 on drawing M-701.00 for existing thru-wall opening dimensions
2. Enlarge seven (7) existing thru-wall openings and create one (1) new thru-wall opening for installation of new Amana model # PBH113G35CB* thru-wall heat pump units. New thru-wall heat pumps to be provided with new Amana thru-wall sleeve (model # PBWS01A) and



rimless architectural grille (model # PBAGK01SB). New architectural grille to match the color of existing surrounding brick, centered beneath existing window and is to be mounted flush with building facade. (typical for all thru-wall heat pump installations, one per apartment). Refer to details #1 and #2 on drawing M-701.00.

South Facing Secondary Façade (Rear Building) (please refer to attached drawings and photo sheet). Note, South Facing Secondary Façade of Rear Building is not visible from public thoroughfare.

1. Remove five (5) existing thru-wall gas fired furnaces (typical) and one (1) existing thru-window gas fired furnace. Refer to detail #2 on drawing M-701.00 for existing thru-wall opening dimensions
2. Enlarge five (5) existing thru-wall openings and create five (5) new thru-wall openings for installation of new Amana model # PBH113G35CB* thru-wall heat pump units. New thru-wall heat pumps to be provided with new Amana thru-wall sleeve (model # PBWS01A) and rimless architectural grille (model # PBAGK01SB). New architectural grille to match the color of existing surrounding brick, centered beneath existing window and is to be mounted flush with building facade. (typical for all thru-wall heat pump installations, one per apartment). Refer to details #1 and #2 on drawing M-701.00.
3. Repair lower sash of one (1) existing window to match existing divided light pattern of same window.

West Facing Secondary Façade (Rear Building) (please refer to attached drawings). Note, West Facing Secondary Façade of Rear Building is not visible from public thoroughfare. No work proposed at West Facing Secondary Façade.

East Facing Secondary Façade (Rear Building) (please refer to attached drawings). Note, East Facing Secondary Façade of Rear Building is not visible from public thoroughfare. No work proposed at East Facing Secondary Façade.

North Facing Secondary Façade (Rear Building) (please refer to attached drawings). Note, North Facing Secondary Façade of Rear Building is not visible from public thoroughfare. No work proposed at North Facing Secondary Façade.

Notes for proposed installations:

1. Proposed heat pump and louver installations are to be centered beneath existing windows.
2. Proposed installation shall conform (and improve uniformity of) existing building facade pattern.
3. Proposed architectural louver to be rimless type.
4. Proposed architectural louver to be mounted flush with building facade.
5. Proposed architectural louver to be finished to match color of existing building brick.
6. Proposed locations corresponds to an established regular pattern of thru-wall installations.
7. Proposed installation calls for one (1) heat pump per apartment.
8. No decorative masonry or other significant architectural features of the building shall be affected by this installation.

225 EAST 5TH STREET,
NEW YORK, NY 10003
HVAC MASTER PLAN



All materials utilized for this work will match existing for type and color as closely as possible. Should you have any questions or comments regarding this matter, please feel free to contact this office at your convenience.

Attachments: Color photographs of proposed area of work

Drawing set (sheets T-000.00, G-101.00, M-101.00, M-201.00, M-202.00, M-203.00, M-204.00, M-205.00, M-206.00, M-207.00, M-208.00, M-209.00, M-501.00 & M-701.00)



Jon Colatrella | PE, CEM, CBCP
Executive Director, MEP/FP

HOWARD L. ZIMMERMAN ARCHITECTS, P.C.



Photo 1:

South Facing Principal Façade
(Front Building) on East 5th Street



Photo 2:

Alternate view of South Facing
Principal Façade (Front Building) on
East 5th Street.

Yellow arrows point to existing thru-
wall gas fired furnaces.



Photo 3:

North Facing Secondary Façade (Front Building); not visible from public thoroughfares.

Yellow arrows point to existing thru-wall gas fired furnaces.



Photo 4:

Alternate view of North Facing Secondary Façade (Front Building); not visible from public thoroughfares.

Yellow arrows point to existing thru-wall gas fired furnaces. Note, second floor thru-wall gas fired furnaces that are shown in Photo #3 above, are not shown in this photo as they did not fit in the photographed area.



Photo 5:

South Facing Secondary Façade (Rear Building); not visible from public thoroughfares.

Yellow arrows point to examples of existing thru-wall and one (1) thru-window gas fired furnaces.



Photo 6:

Alternate view of South Facing Secondary Façade (Rear Building); not visible from public thoroughfares.

LIST OF DRAWINGS:

MECHANICAL DRAWINGS	
Sheet Number	Sheet Title
T-000.00	COVER PAGE
G-101.00	DOB INFORMATION, INSPECTION NOTES
M-101.00	TYPICAL FLOOR PLANS
M-201.00	EXISTING SOUTH (PRINCIPAL FACADE) ELEVATION
M-202.00	EXISTING NORTH (SECONDARY FACADE) ELEVATION
M-203.00	EXISTING REAR BUILDING SOUTH (SECONDARY FACADE) ELEVATION
M-204.00	EXISTING REAR BUILDING WEST (SECONDARY FACADE) ELEVATION
M-205.00	EXISTING REAR BUILDING EAST (SECONDARY FACADE) ELEVATION
M-206.00	EXISTING REAR BUILDING NORTH (SECONDARY FACADE) ELEVATION
M-207.00	PROPOSED SOUTH (PRINCIPAL FACADE) ELEVATION
M-208.00	PROPOSED NORTH (SECONDARY FACADE) ELEVATION
M-209.00	PROPOSED REAR BUILDING SOUTH (SECONDARY FACADE) ELEVATION
M-501.00	EQUIPMENT SCHEDULES
M-701.00	DETAILS

HVAC MASTER PLAN

225 EAST 5TH STREET
NEW YORK, NY 10003

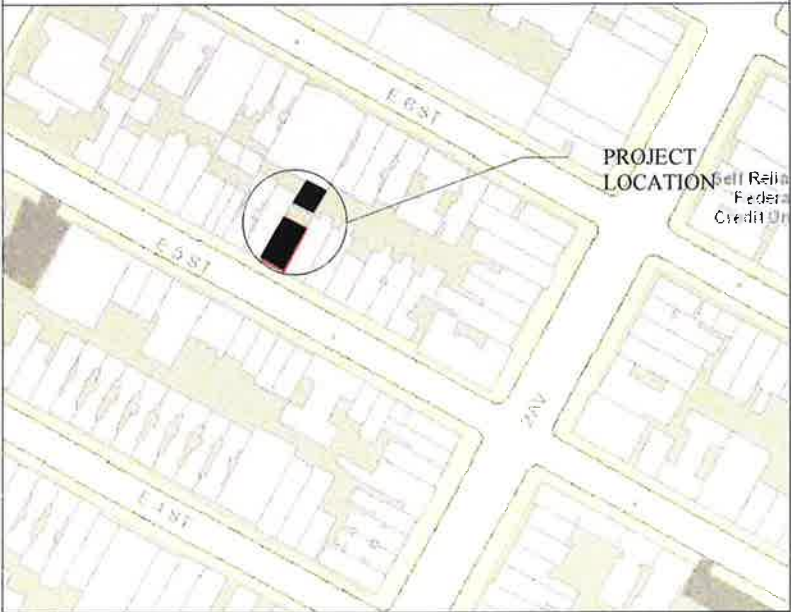
OBJECTIVE:

THIS MASTER PLAN SHALL ESTABLISH A PROGRAM FOR UPGRADES TO APARTMENT HVAC INSTALLATIONS. INSTALLATIONS SHALL BE REGULARIZED, LESS VISIBLE, AND PRESERVE AND IMPROVE AN EXISTING PATTERN OF THRU-WALL HVAC INSTALLATIONS THAT WILL BE LESS DISRUPTIVE THE BUILDING'S EXISTING HISTORIC FACADE.



HVAC MASTER PLAN COVER
PAGE
NOVEM PROPERTIES, INC.

VICINITY MAP



PROJECT INFORMATION

NOVEM PROPERTIES, INC.

801 2ND AVENUE, SUITE 404
NEW YORK, NY 10017



L.P.C. PERMIT SET

4/28/2017

T-000.00

DEMOLITION NOTES

- 1
- ALL EXISTING STRUCTURES ARE SHOWN FOR REFERENCE ONLY AND ARE TO BE FIELD VERIFIED.

- 2
- REMOVED MATERIALS, UNLESS OTHERWISE NOTED, BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS.

- 3
- CONTRACTOR SHALL USE QUALIFIED, EXPERIENCED PERSONNEL FOR REMOVAL AND DEMOLITION OPERATIONS. REMOVAL AND DEMOLITION OPERATIONS SHALL BE PERFORMED IN A CAREFUL, ORDERLY AND CONTROLLED MANNER TO AVOID HAZARDS TO PERSONS, DAMAGE TO PROPERTY, AND SPREADING OF DUST AND DEBRIS.

- 4
- EXACT EXTENT OF DEMOLITION TO BE DONE SHALL BE VERIFIED AT THE SITE. DETERMINE THE NATURE AND EXTENT OF DEMOLITION THAT WILL BE NECESSARY BY COMPARING THE DRAWINGS WITH THE EXISTING CONSTRUCTION.

- 5
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE MEANS AND METHODS OF DEMOLITION AND SHORING AND THE SAFETY OF THE EXISTING STRUCTURE AND ITS OCCUPANTS.

- 6
- THE CONTRACTOR IS NOT TO REMOVE ANY MORE OF THE EXISTING STRUCTURE THAN NECESSARY TO PROPERLY EXECUTE THE DETAILS SHOWN ON CONTRACT DOCUMENT. DO NOT DAMAGE, MAR, OR DEFACE THE REMAINING STRUCTURE OR MATERIALS TO BE REUSED.

- 7
- CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES, DUCTS, AND EQUIPMENT TO REMAIN.

- 8
- CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, INSTALLATION AND MONITORING OF ALL TEMPORARY FACILITIES AND STRUCTURES.

- 9
- ENERGY CODE COMPLIANCE INSPECTIONS BC 110.3.5

2016 NEW YORK ENERGY CODE COMPLIANCE

- 1
- TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CODE OF NEW YORK CITY (NYCECC 2016).

FLOOD ZONE STATEMENT:

THE APPLICANT HAS BEEN ADVISED THAT THE PROPERTY IS NOT LOCATED IN SPECIAL FLOOD HAZARD AREA (SFHA), ZONE AS PER PRELIMINARY FLOOD MAPS RELEASED IN 2013

TENANT PROTECTION PLAN (PER 28-104.8.4)

- 1
- EGRESS. AT ALL TIMES IN THE COURSE OF CONSTRUCTION PROVISION SHALL BE MADE FOR ADEQUATE EGRESS AS REQUIRED BY THIS CODE AND THE TENANT PROTECTION PLAN SHALL IDENTIFY THE EGRESS THAT WILL BE PROVIDED. REQUIRED EGRESS SHALL NOT BE OBSTRUCTED AT ANY TIME EXCEPT WHERE APPROVED BY THE COMMISSIONER.

- 2
- FIRE SAFETY. ALL NECESSARY LAWS AND CONTROLS, INCLUDING THOSE WITH RESPECT TO OCCUPIED DWELLINGS, AS WELL AS ADDITIONAL SAFETY MEASURES NECESSITATED BY THE CONSTRUCTION SHALL BE STRICTLY OBSERVED.

- 3
- HEALTH REQUIREMENTS. SPECIFICATION OF METHODS TO BE USED FOR CONTROL OF DUST, DISPOSAL OF CONSTRUCTION DEBRIS, PEST CONTROL AND MAINTENANCE OF SANITARY FACILITIES, AND LIMITATION OF NOISE TO ACCEPTABLE LEVELS SHALL BE INCLUDED. NOTE: THERE SHALL BE INCLUDED A STATEMENT OF COMPLIANCE WITH APPLICABLE PROVISIONS OF LAW RELATING TO LEAD AND ASBESTOS.

- 4
- COMPLIANCE WITH HOUSING STANDARDS. THE REQUIREMENTS OF THE NEW YORK CITY HOUSING MAINTENANCE CODE, AND, WHERE APPLICABLE, THE NEW YORK STATE MULTIPLE DWELLING LAW SHALL BE STRICTLY OBSERVED.

- 5
- STRUCTURAL SAFETY. NO STRUCTURAL WORK SHALL BE DONE THAT MAY ENDANGER THE OCCUPANTS.

- 6
- NOISE RESTRICTIONS. WHERE HOURS OF THE DAY OR THE DAYS OF THE WEEK IN WHICH CONSTRUCTION WORK MAY BE UNDERTAKEN ARE LIMITED PURSUANT TO THE NEW YORK CITY NOISE CONTROL CODE, SUCH LIMITATIONS SHALL BE STATED.

- 7
- CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS OF 8 AM TO 5 PM MONDAY THROUGH FRIDAY EXCEPT HOLIDAYS WHICH WILL BE DETERMINED BY THE OWNER. NO WORK WILL BE DONE ON WEEKENDS WITHOUT WRITTEN PERMISSION BY THE OWNER OR WITHOUT A PERMIT.

- 8
- ALL UNITS ARE TO BE OCCUPIED DURING CONSTRUCTION

SPECIAL INSPECTIONS

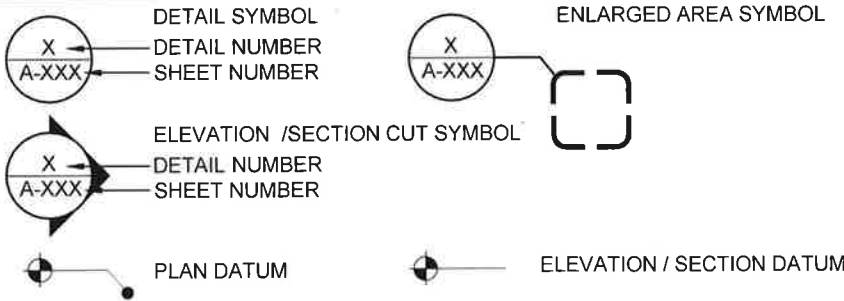
SPECIAL INSPECTIONS REQUIRED IN ACCORDANCE WITH SECTION BC 1704 AND THE APPLICABLE SECTIONS OF THE BUILDING CODE SHALL BE PERFORMED FOR THE FOLLOWING ITEMS:

SPECIAL INSPECTIONS	CODE / SECTION
FINAL INSPECTION	28-116.2.4.2, BC 110.5, DIRECTIVE 14/75, 1 RCNY 101-10

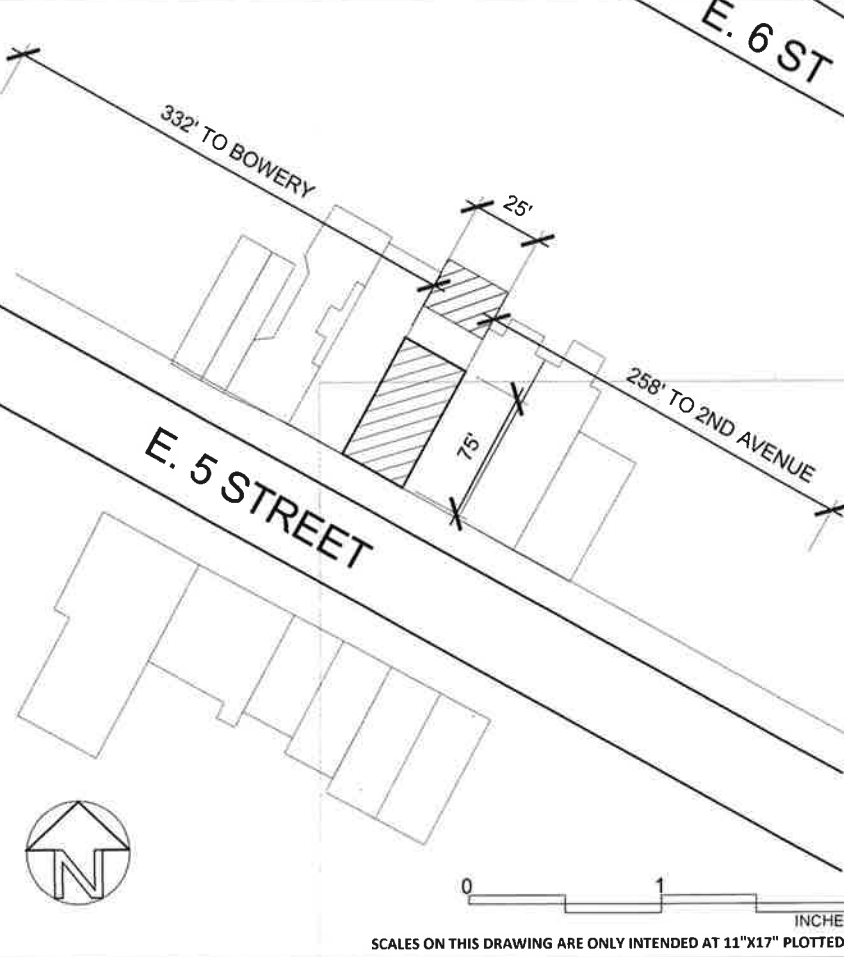
DEPARTMENT OF BUILDINGS INFORMATION

OWNER:		PROJECT ADDRESS:	
SAELIDAB REALTY CORP, c/o NOVUM PROPERTIES, INC, 6 EAST 39TH STREET, SUITE 701 NEW YORK, NY 10016		225 EAST 5TH STREET NEW YORK, NY 10003	
# OF STORIES: 5		ZONE:	R8B
HEIGHT: 55' - 0"		MAP:	12C
BIN NUMBER: 1076948		BOROUGH:	MANHATTAN
BLOCK: 461		LANDMARK STATUS:	YES
LOT: 44		USE:	RESIDENTIAL
		CONSTRUCTION:	3-NON FP STRUC

EXTERIOR SYMBOLS LEGEND



PLOT PLAN:



HVAC MASTER PLAN

225 EAST 5TH STREET
NEW YORK, NY 10003

NOVEM PROPERTIES, INC.

801 2ND AVENUE, SUITE 404
NEW YORK, NY 10017

HLZA

HOWARD L. ZIMMERMAN
ARCHITECTS PC

11 West 30th Street, New York, NY 10001
Phone: 212.564.9393 | Fax: 212.564.9032



NO.	DATE	REVISION DESCRIPTION
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DOB INFORMATION, INSPECTION NOTES

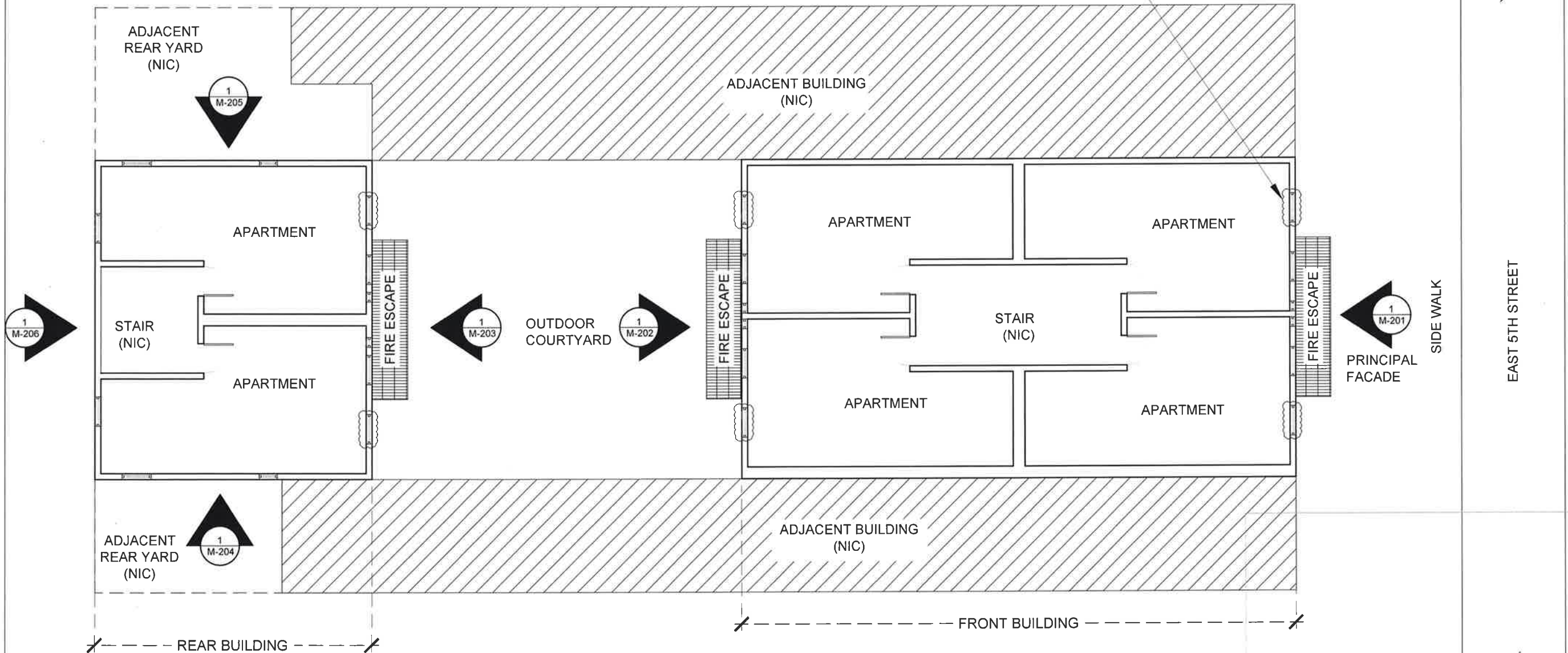
DATE:	4/28/2017	DRAWN BY:	BS
SCALE:	AS NOTED	CHECKED BY:	JC
JOB No.	17-0039	PAGE:	2 OF 14
SHEET NO.			

G-101.00

NOTES:

1. PROPOSED HEAT PUMP AND LOUVER INSTALLATIONS ARE TO BE CENTERED BENEATH EXISTING WINDOWS.
2. PROPOSED INSTALLATION SHALL CONFORM (AND IMPROVE UNIFORMITY OF) EXISTING BUILDING FACADE PATTERN.
3. PROPOSED ARCHITECTURAL LOUVER/GRILLE TO BE RIMLESS TYPE.
4. PROPOSED ARCHITECTURAL LOUVER/GRILLE TO BE MOUNTED FLUSH WITH BUILDING FACADE.
5. PROPOSED ARCHITECTURAL LOUVER/GRILLE TO BE FINISHED TO MATCH COLOR OF EXISTING BUILDING BRICK.
6. PROPOSED LOCATIONS CORRESPOND TO AN EXISTING ESTABLISHED REGULAR PATTERN OF THRU-WALL INSTALLATIONS.
7. PROPOSED INSTALLATION CALLS FOR ONE (1) HEAT PUMP PER APARTMENT.
8. NO DECORATIVE MASONRY AND/OR OTHER SIGNIFICANT ARCHITECTURAL FEATURES OF THE BUILDING SHALL BE AFFECTED BY THIS INSTALLATION.

INSTALL NEW AMANA MODEL # PBH113G35CB* THRU-WALL HEAT PUMP UNIT. NEW THRU-WALL HEAT PUMP TO BE PROVIDED WITH NEW AMANA THRU-WALL SLEEVE (MODEL # PBWS01A) AND RIMLESS ARCHITECTURAL GRILLE (MODEL # PBAGK01SB). NEW ARCHITECTURAL GRILLE TO MATCH COLOR OF EXISTING SURROUNDING BRICK, CENTERED BENEATH EXISTING WINDOW AND IS TO BE MOUNTED FLUSH WITH BUILDING FACADE. (TYPICAL FOR ALL THRU-WALL HEAT PUMP INSTALLATIONS, ONE PER APARTMENT). REFER TO DETAIL #1 ON DRAWING M-701.00. PROPOSED LOCATION OF NEW THRU-WALL HEAT PUMP UNIT (TYPICAL FOR ALL BUBBLED LOCATIONS)



HVAC MASTER PLAN

225 EAST 5TH STREET
NEW YORK, NY 10003

NOVEM PROPERTIES, INC.

801 2ND AVENUE, SUITE 404
NEW YORK, NY 10017

HOWARD L.
HLZA ZIMMERMAN
ARCHITECTS PC
11 West 30th Street, New York, NY 10001
Phone: 212.564.9393 | Fax: 212.564.9032



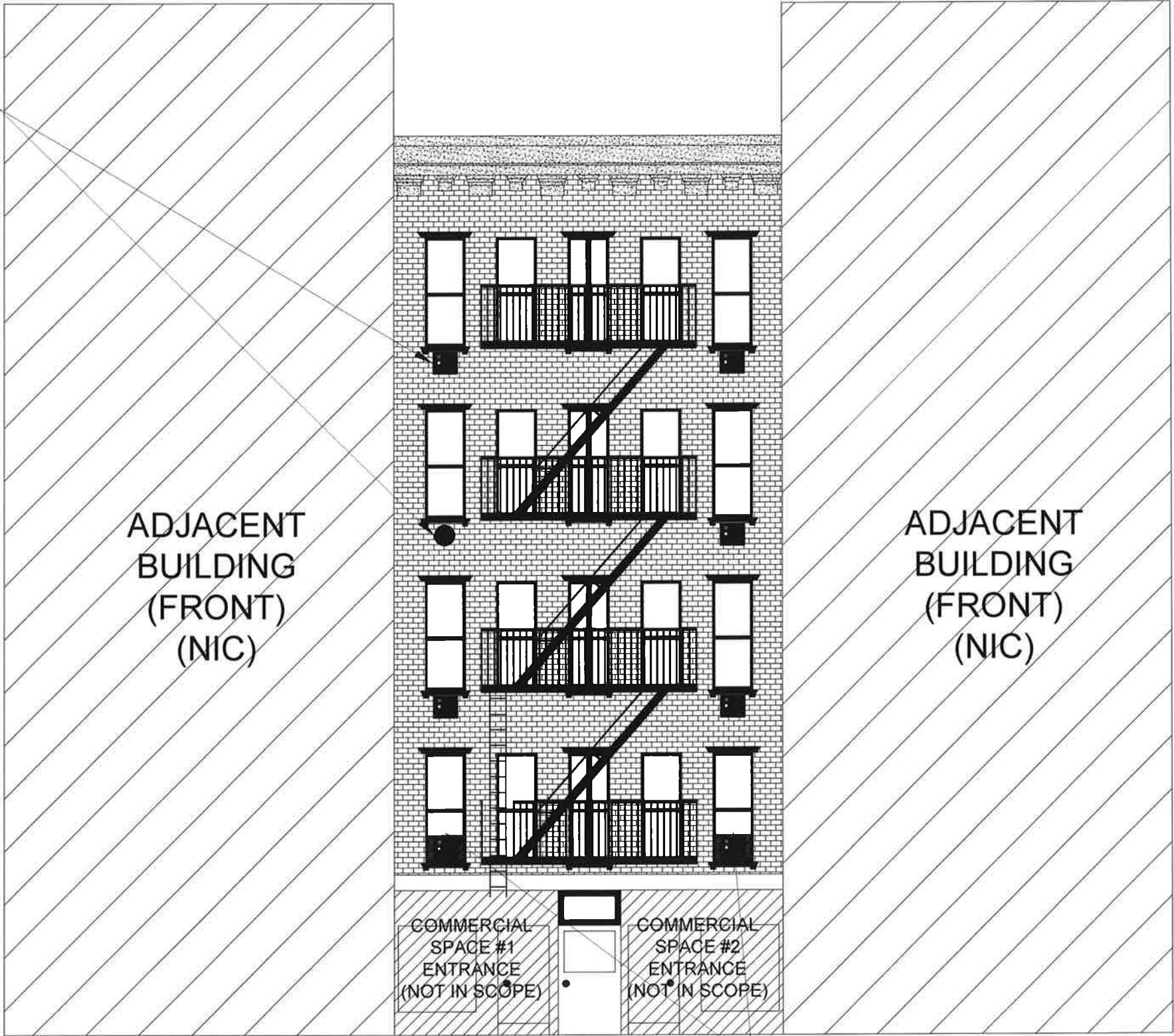
NO.	DATE	REVISION	DESCRIPTION
TYPICAL FLOOR PLANS			
DATE:	4/28/2017	DRAWN BY:	BS
SCALE:	AS NOTED	CHECKED BY:	JC
JOB No:	17-0039	PAGE:	3 of 14
SHEET NO.			

M-101.00

TYPICAL FLOOR PLANS
DIAGRAMATIC

0 1 2
INCHES
SCALES ON THIS DRAWING ARE ONLY INTENDED AT 11"x17" PLOTTED SIZE.

REMOVE SIX (6)
EXISTING
THRU-WALL GAS
FIRED FURNACES
(TYPICAL) REFER
TO DETAIL #2 ON
DRAWING M-701.00
FOR EXISTING
THRU-WALL
OPENING
DIMENSIONS



REMOVE TWO (2) EXISTING GAS FIRED
FURNACE CURRENTLY INSTALLED IN
LOWER PORTION OF EXISTING WINDOW
OPENING. EXISTING WINDOW FRAME
AND ASSEMBLY TO REMAIN.



PHOTOS OF EXISTING PRINCIPAL FACADE



HVAC MASTER PLAN

225 EAST 5TH STREET
NEW YORK, NY 10003

NOVEM PROPERTIES, INC.

801 2ND AVENUE, SUITE 404
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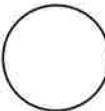


NO DATE REVISION DESCRIPTION

**EXISTING SOUTH
(PRINCIPAL FACADE)
ELEVATION**

DATE: 4/28/2017 DRAWN BY: BS
SCALE: AS NOTED CHECKED BY: JC
JOB No: 17-0039 PAGE: 4 of 14

SHEET NO:
M-201.00

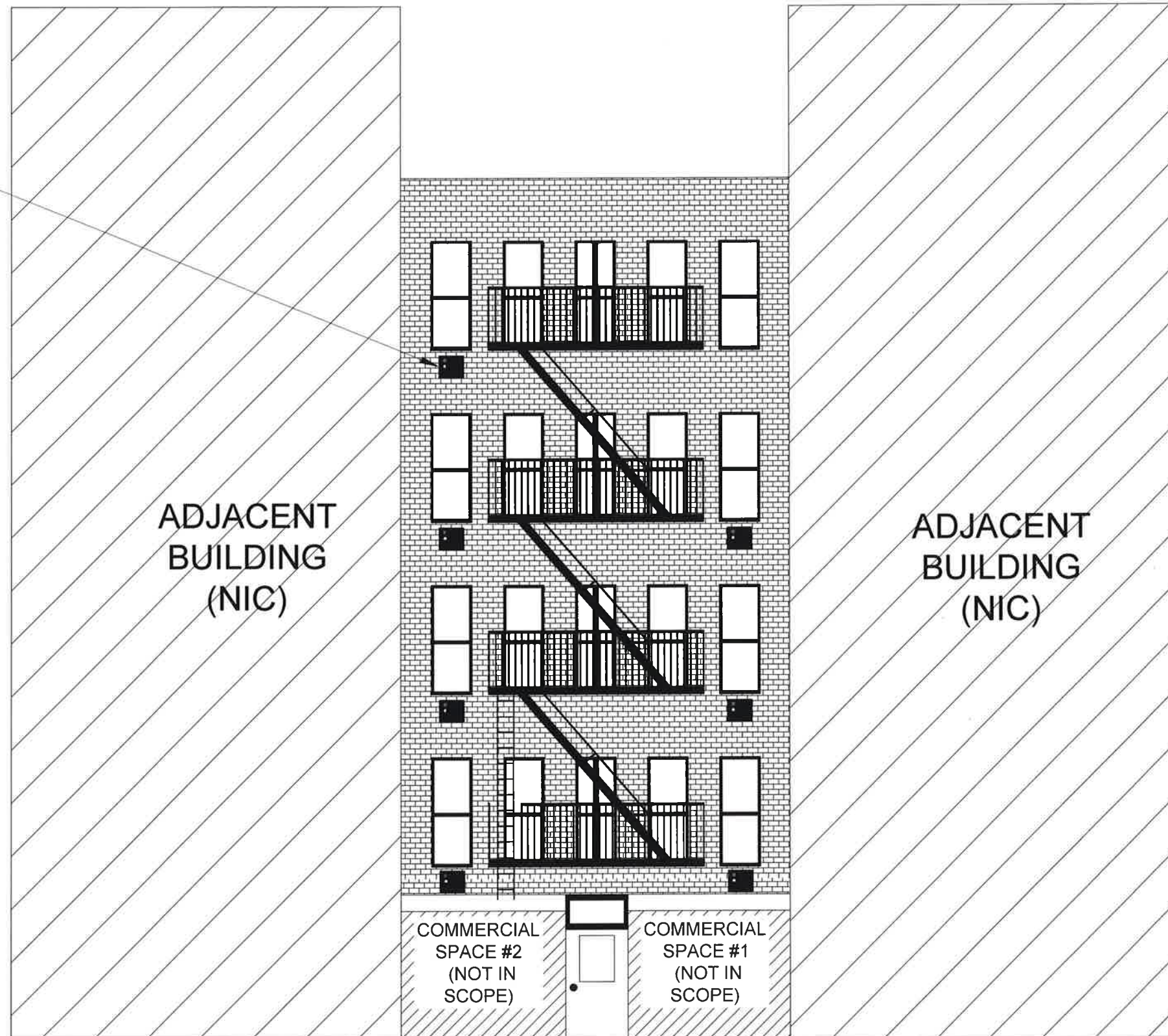


EXISTING SOUTH (PRINCIPAL FACADE) ELEVATION
DIAGRAMATIC

0 1 2
INCHES

SCALES ON THIS DRAWING ARE ONLY INTENDED AT 11"X17" PLOTTED SIZE.

REMOVE SEVEN (7)
EXISTING
THRU-WALL GAS
FIRED FURNACES
(TYPICAL) REFER TO
DETAIL #2 ON
DRAWING M-701.00
FOR EXISTING
THRU-WALL
OPENING
DIMENSIONS



EXISTING NORTH (SECONDARY FACADE) ELEVATION

DIAGRAMATIC

NOTE:

NORTH FACADE IS NOT VISIBLE
FROM PUBLIC THOROUGHFARES.



SCALES ON THIS DRAWING ARE ONLY INTENDED AT 11"X17" PLOTTED SIZE.

HVAC MASTER PLAN

225 EAST 5TH STREET
NEW YORK, NY 10003

NOVEM PROPERTIES, INC.

801 2ND AVENUE, SUITE 404
NEW YORK, NY 10017



11 West 30th Street, New York, NY 10001
Phone: 212.564.9393 | Fax: 212.564.9032



NO	DATE	REVISION DESCRIPTION
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EXISTING NORTH (SECONDARY FACADE) ELEVATION

DATE:	4/28/2017	DRAWN BY:	BS
SCALE:	AS NOTED	CHECKED BY:	JC
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M-202.00

ADJACENT BUILDING (NIC)

ADJACENT BUILDING (NIC)

REAR BUILDING IS NOT VISIBLE
FROM PUBLIC THOROUGHFARES.

REMOVE ONE (1) EXISTING
GAS FIRED FURNACE
CURRENTLY INSTALLED IN
LOWER LEFT SASH OF
EXISTING WINDOW. EXISTING
WINDOW TO BE REPAIRED TO
MATCH EXISTING WINDOW
DIVIDED LIGHT PATTERN.

NO	DATE	REVISION DESCRIPTION
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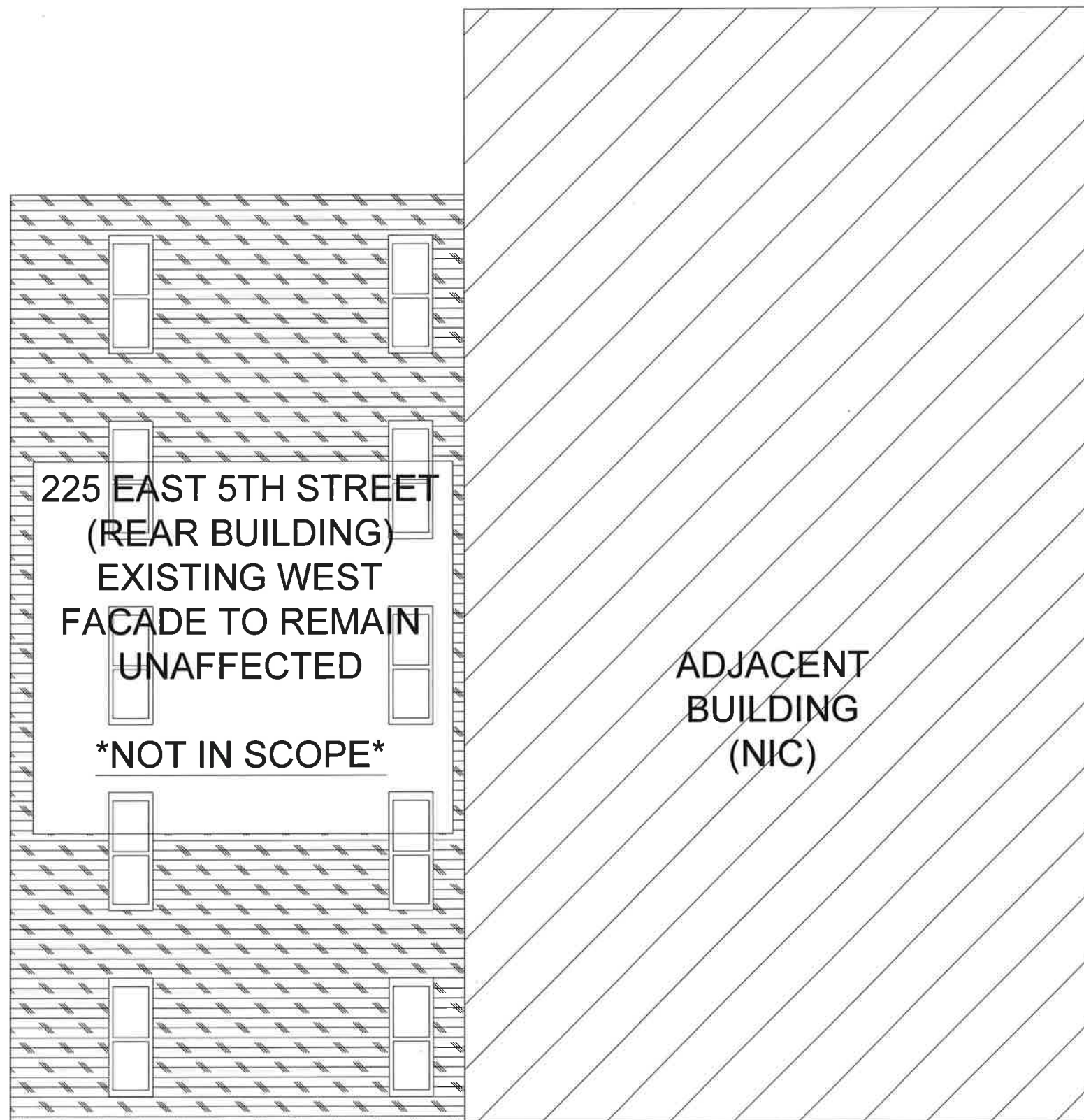
DATE:	4/28/2017	DRAWN BY:	BS
SCALE:	AS NOTED	CHECKED BY:	JO
JOB No.	17-0039	PAGE:	6 of 14
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M-203.00

EXISTING REAR BUILDING SOUTH (SECONDARY FACADE) ELEVATION
DIAGRAMATIC

0 1 2
INCHES

SCALES ON THIS DRAWING ARE ONLY INTENDED AT 11"x17" PLOTTED SIZE.



225 EAST 5TH STREET
(REAR BUILDING)
EXISTING WEST
FACADE TO REMAIN
UNAFFECTED
NOT IN SCOPE

ADJACENT
BUILDING
(NIC)

NOTE:
REAR BUILDING IS NOT VISIBLE
FROM PUBLIC THOROUGHFARES.

 **EXISTING REAR BUILDING WEST (SECONDARY FACADE) ELEVATION**
DIAGRAMATIC

0 1 2
INCHES
SCALES ON THIS DRAWING ARE ONLY INTENDED AT 11"X17" PLOTTED SIZE.

HVAC MASTER PLAN
225 EAST 5TH STREET
NEW YORK, NY 10003

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NEW YORK, NY 10017

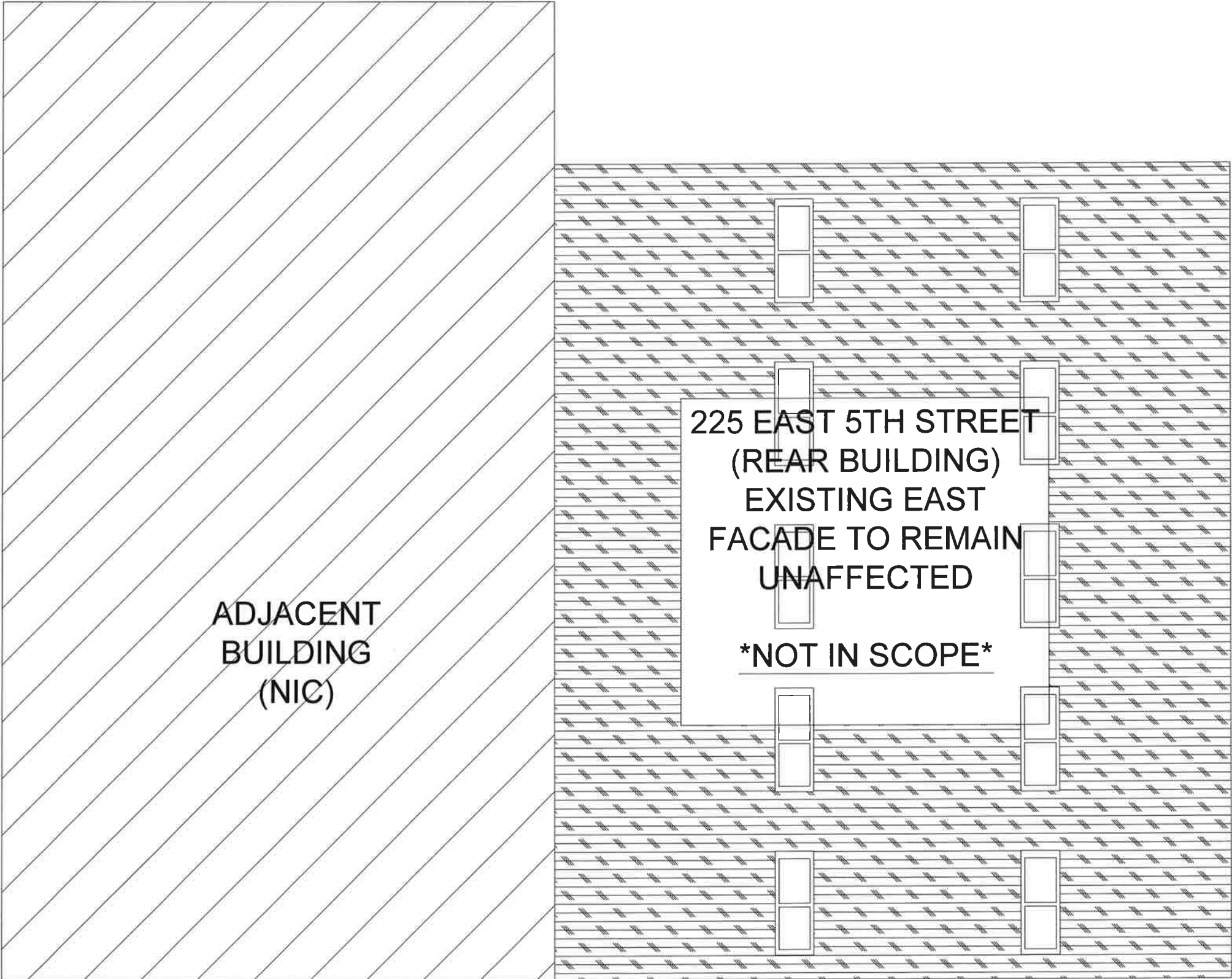
 **HOWARD L. ZIMMERMAN**
ARCHITECTS PC
11 West 30th Street, New York, NY 10001
Phone: 212.564.9393 | Fax: 212.564.9032



EXISTING REAR BUILDING
WEST (SECONDARY
FACADE) ELEVATION

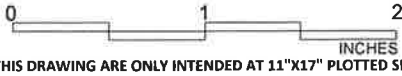
DATE:	4/28/2017	DRAWN BY:	BS
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M-204.00



 **EXISTING REAR BUILDING EAST (SECONDARY FACADE) ELEVATION**
DIAGRAMATIC

NOTE:
REAR BUILDING IS NOT VISIBLE
FROM PUBLIC THOROUGHFARES.



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HVAC MASTER PLAN

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NOVEM PROPERTIES, INC.

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ZIMMERMAN
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NO.	DATE	REVISION DESCRIPTION

**EXISTING REAR BUILDING
EAST (SECONDARY
FACADE) ELEVATION**

DATE:	4/28/2017	DRAWN BY:	BS
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M-205.00

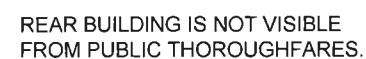
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NEW YORK, NY 10003

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M-206.00



DIAGRAMATIC



1. NO NEW PENETRATIONS AT PRINCIPAL FACADE PROPOSED. ONLY ENLARGEMENT OF EXISTING THRU-WALL OPENINGS.
2. NO SIGNIFICANT ARCHITECTURAL FEATURES WILL BE AFFECTED BY THE INSTALLATION.
3. THE INSTALLATION WILL PRESERVE AND IMPROVE THE LOOK OF THE HISTORIC FACADE BY REGULARIZING PENETRATIONS AND MAKING THEM LESS VISIBLE BY COLORING THE PROPOSED LOUVER GRILLES TO MATCH THE EXISTING SURROUNDING HISTORIC BRICK MASONRY.

ADJACENT
BUILDING
(FRONT)
(NIC)

ADJACENT
BUILDING
(FRONT)
(NIC)

ENLARGE SIX (6) EXISTING THRU-WALL OPENINGS FOR INSTALLATION OF NEW AMANA MODEL # PBH113G35CB* THRU-WALL HEAT PUMP UNIT. NEW THRU-WALL HEAT PUMP TO BE PROVIDED WITH NEW AMANA THRU-WALL SLEEVE (MODEL # PBWS01A) AND RIMLESS ARCHITECTURAL GRILLE (MODEL # PBAGK01SB). NEW ARCHITECTURAL GRILLE TO MATCH COLOR OF EXISTING SURROUNDING BRICK, CENTERED BENEATH EXISTING WINDOW AND IS TO BE MOUNTED FLUSH WITH BUILDING FACADE. (TYPICAL FOR ALL THRU-WALL HEAT PUMP INSTALLATIONS, ONE PER APARTMENT). REFER TO DETAILS #1 AND #2 ON DRAWING M-701.00.

NEW AMANA MODEL # PBH113G35CB*
HEAT PUMP UNIT. NEW HEAT PUMP
TO BE INSTALLED IN LOWER
SECTION OF EXISTING WINDOW
OPENING AND IS TO BE PROVIDED
WITH NEW AMANA RIMLESS
ARCHITECTURAL GRILLE (MODEL #
PBAGK015B). NEW ARCHITECTURAL
GRILLE TO MATCH COLOR OF
EXISTING SURROUNDING BRICK,
HORIZONTALLY CENTERED WITHIN
EXISTING WINDOW OPENING AND IS
TO BE MOUNTED FLUSH WITH
BUILDING FACADE. REFER TO
DETAIL #3 ON DRAWING M-701.00.

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NO	DATE	REVISION DESCRIPTION
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PROPOSED SOUTH
(PRINCIPAL FACADE)
ELEVATION

DATE: 4/28/2017		DRAWN BY: BS	
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M-207.00

PROPOSED SOUTH (PRINCIPAL FACADE) ELEVATION

DIAGRAMATIC



INCHES
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HVAC MASTER PLAN

225 EAST 5TH STREET
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HLZA ZIMMERMAN
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NO	DATE	REVISION DESCRIPTION
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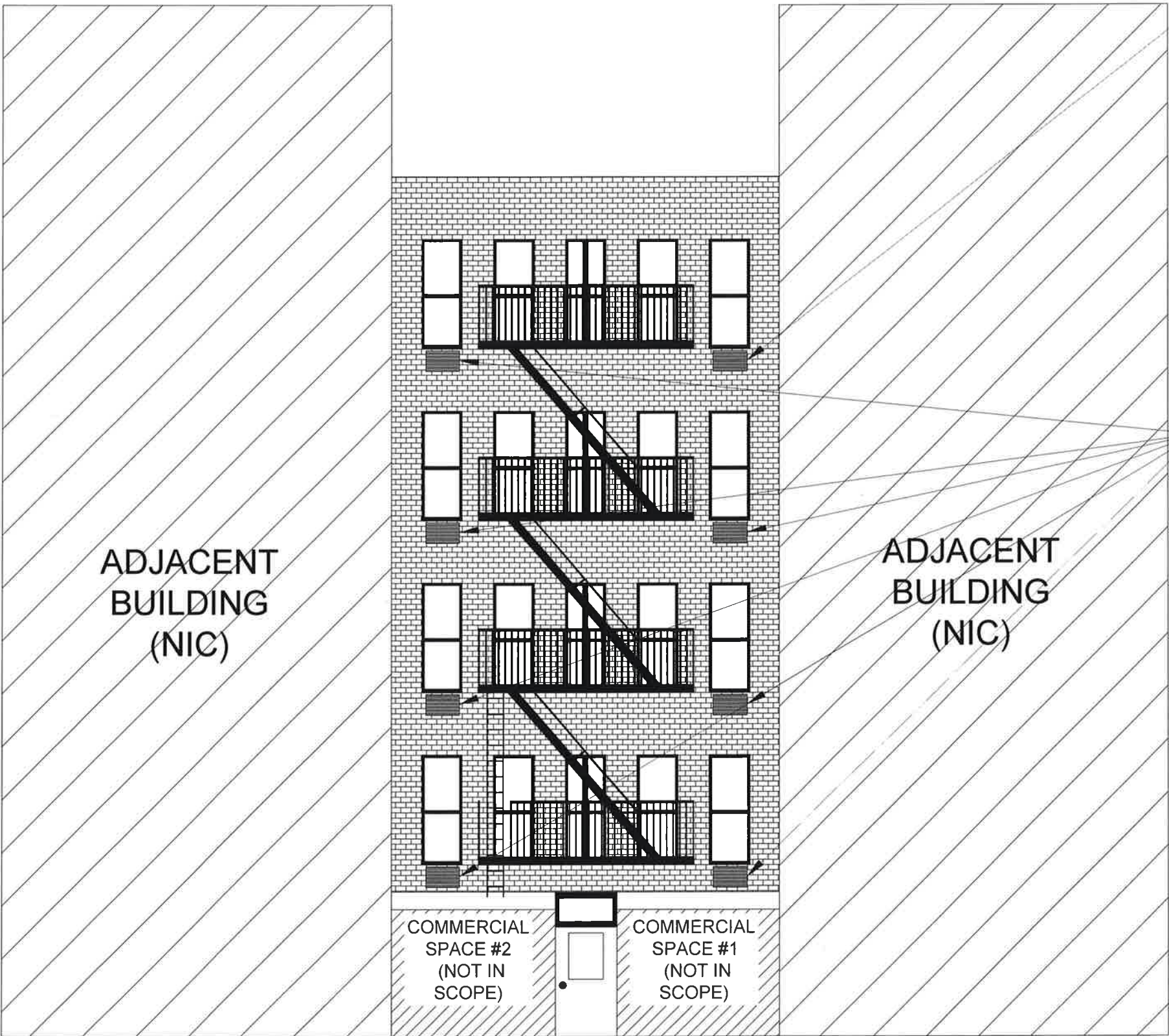
PROPOSED NORTH
(SECONDARY FACADE)
ELEVATION

DATE:	4/28/2017	DRAWN BY:	BS
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M-208.00

ONE (1) NEW THRU-WALL PENETRATION FOR INSTALLATION OF NEW AMANA MODEL # PBH113G35CB* THRU-WALL HEAT PUMP UNIT. NEW THRU-WALL HEAT PUMP TO BE PROVIDED WITH NEW AMANA THRU-WALL SLEEVE (MODEL # PBWS01A) AND RIMLESS ARCHITECTURAL GRILLE (MODEL # PBAGK01SB). NEW ARCHITECTURAL GRILLE TO MATCH COLOR OF EXISTING SURROUNDING BRICK, CENTERED BENEATH EXISTING WINDOW AND IS TO BE MOUNTED FLUSH WITH BUILDING FACADE. (TYPICAL FOR ALL THRU-WALL HEAT PUMP INSTALLATIONS, ONE PER APARTMENT). REFER TO DETAILS #1 AND #2 ON DRAWING M-701.00.

ENLARGE SEVEN (7) EXISTING THRU-WALL OPENING FOR INSTALLATION OF NEW AMANA MODEL # PBH113G35CB* THRU-WALL HEAT PUMP UNIT. NEW THRU-WALL HEAT PUMP TO BE PROVIDED WITH NEW AMANA THRU-WALL SLEEVE (MODEL # PBWS01A) AND RIMLESS ARCHITECTURAL GRILLE (MODEL # PBAGK01SB). NEW ARCHITECTURAL GRILLE TO MATCH COLOR OF EXISTING SURROUNDING BRICK, CENTERED BENEATH EXISTING WINDOW AND IS TO BE MOUNTED FLUSH WITH BUILDING FACADE. (TYPICAL FOR ALL THRU-WALL HEAT PUMP INSTALLATIONS, ONE PER APARTMENT). REFER TO DETAILS #1 AND #2 ON DRAWING M-701.00.



NOTE:
NORTH FACADE IS NOT VISIBLE FROM PUBLIC THOROUGHFARES.

0 1 2
INCHES
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NO.	DATE	REVISION DESCRIPTION
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PROPOSED REAR BUILDING
SOUTH (SECONDARY
FACADE) ELEVATION

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M-209.00

ENLARGE FIVE (5) EXISTING THRU-WALL OPENINGS FOR INSTALLATION OF NEW AMANA MODEL # PBH113G35CB* THRU-WALL HEAT PUMP UNIT. NEW THRU-WALL HEAT PUMP TO BE PROVIDED WITH NEW AMANA THRU-WALL SLEEVE (MODEL # PBWS01A) AND RIMLESS ARCHITECTURAL GRILLE (MODEL # PBAGK01SB). NEW ARCHITECTURAL GRILLE TO MATCH COLOR OF EXISTING SURROUNDING BRICK, CENTERED BENEATH EXISTING WINDOW AND IS TO BE MOUNTED FLUSH WITH BUILDING FACADE. (TYPICAL FOR ALL THRU-WALL HEAT PUMP INSTALLATIONS, ONE PER APARTMENT). REFER TO DETAILS #1 AND #2 ON DRAWING M-701.00.

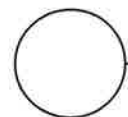
ADJACENT
BUILDING
(NIC)

ADJACENT
BUILDING
(NIC)

FIVE (5) NEW THRU-WALL PENETRATIONS FOR INSTALLATION OF NEW AMANA MODEL # PBH113G35CB* THRU-WALL HEAT PUMP UNIT. NEW THRU-WALL HEAT PUMP TO BE PROVIDED WITH NEW AMANA THRU-WALL SLEEVE (MODEL # PBWS01A) AND RIMLESS ARCHITECTURAL GRILLE (MODEL # PBAGK01SB). NEW ARCHITECTURAL GRILLE TO MATCH COLOR OF EXISTING SURROUNDING BRICK, CENTERED BENEATH EXISTING WINDOW AND IS TO BE MOUNTED FLUSH WITH BUILDING FACADE. (TYPICAL FOR ALL THRU-WALL HEAT PUMP INSTALLATIONS, ONE PER APARTMENT). REFER TO DETAILS #1 AND #2 ON DRAWING M-701.00.

NOTE:

REAR BUILDING IS NOT VISIBLE FROM PUBLIC THOROUGHFARES.



PROPOSED REAR BUILDING SOUTH (SECONDARY FACADE) ELEVATION
DIAGRAMATIC

0 1 2
INCHES

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NO.	DATE	REVISION DESCRIPTION
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EQUIPMENT
SCHEDULES

DATE:	4/28/2017	DRAWN BY:	BS
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M-501.00

NEW HEAT PUMP UNIT SCHEDULE

DESIGNATION	RATING (TONS)	REFRIG TYPE	COOLING CAPACITY (BTU'S)	HEATING CAPACITY (BTU'S)	POWER SUPPLY			MAKE	MODEL	SEER (BTU/HW)
					VOLTAGE	PHASE	BREAKER SIZE			
HPU	1	R410A	11,700	37,000	250	1	20	AMANA	PBH113G35CB*	9.5

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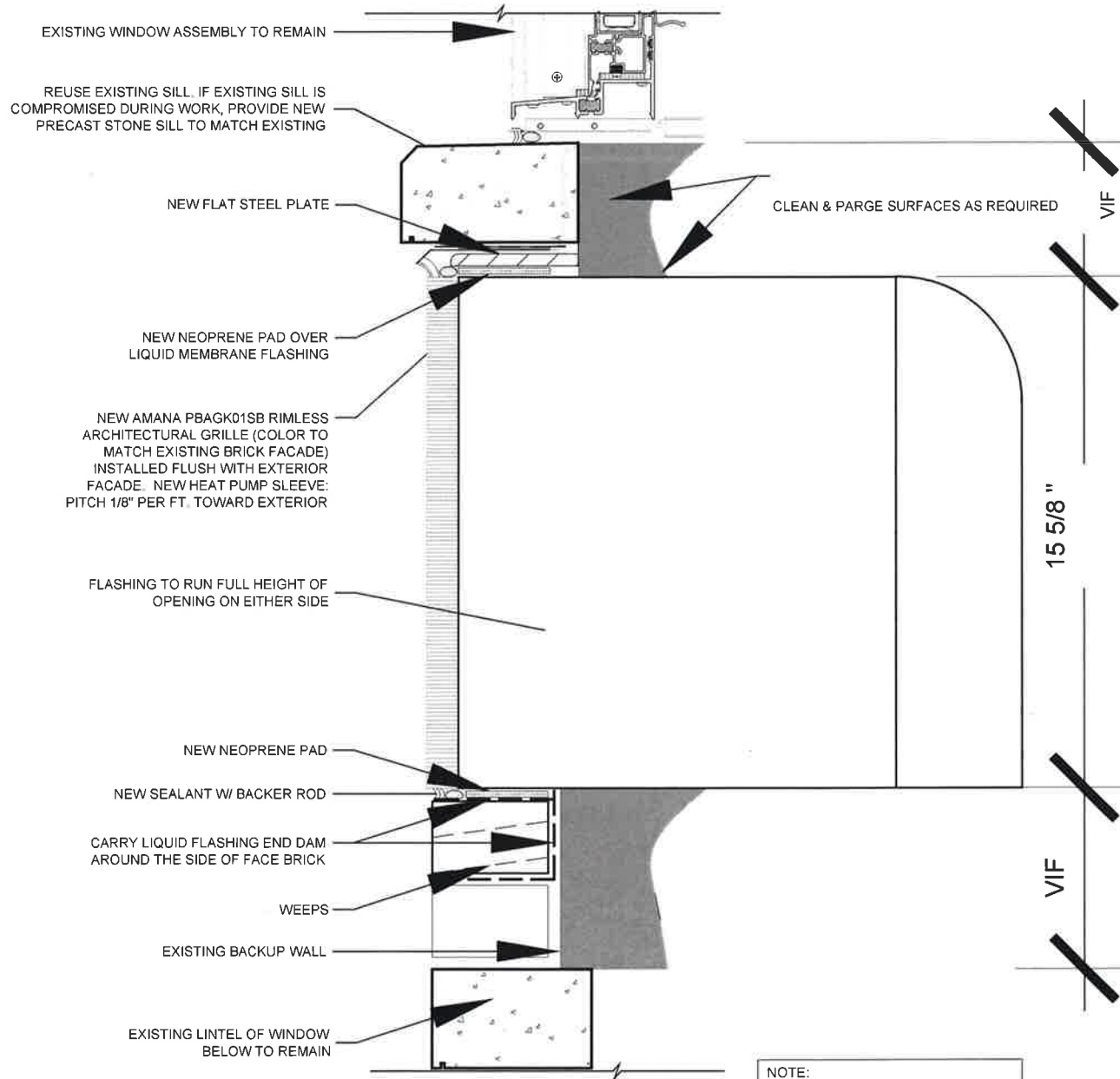


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DETAILS

DATE: 4/28/2017 DRAWN BY: BS
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M-701.00



1 THRU-WALL HEAT PUMP UNIT DETAIL
DIAGRAMATIC

NOTE:
REFER TO DETAIL #2 FOR
THRU-WALL OPENING DIMENSIONS

EXISTING THRUWALL
OPENING FOR EXISTING
THRUWALL FURNACE

NEW/ENLARGED
THRUWALL OPENING
FOR NEW HEAT PUMP
UNIT

2 THRU-WALL OPENING DETAIL
DIAGRAMATIC

EXISTING WINDOW ASSEMBLY

NEW AMANA PBAGK01SB
RIMLESS ARCHITECTURAL
GRILLE (COLOR TO MATCH
EXISTING BRICK FACADE)
INSTALLED FLUSH WITH
EXTERIOR FACADE. PITCH 1/8"
PER FT. TOWARD EXTERIOR

3 THRU-WINDOW HEAT PUMP UNIT DETAIL
DIAGRAMATIC

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