

GENERAL NOTES

- 'THE CONTRACTOR', AS NOTED HEREIN, SHALL REFER TO ALL TRADE CONTRACTORS AND SUB-CONTRACTORS WORKING ON THIS PROJECT. THE CONTRACTOR, IS RESPONSIBLE FOR, BUT NOT LIMITED TO, THE FOLLOWING:
1 SUMMARY:
1.1 SCOPE OF SERVICES:
THE DESIGN INFORMATION SHOWN HERE, PROVIDED BY GAMBINO + LAPORTA ARCHITECTURE, PC IS LIMITED TO THE INFORMATION DESCRIBED IN THESE CONSTRUCTION DOCUMENTS, AND RELATES TO ARCHITECTURAL ISSUES ONLY. ALL SITE WORK, ELECTRICAL, HVAC, PLUMBING, STRUCTURAL AND RELATED ENGINEERING DESIGN AND INFORMATION SHALL BE THE RESPONSIBILITY OF OTHERS.
1.2 PLANS, SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS WILL GOVERN THE WORK TO BE DONE. ANYTHING MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN ON THE PLANS AND DETAILED DRAWINGS, OR ANYTHING SHOWN ON THE PLANS AND NOT MENTIONED IN THE SPECIFICATIONS, SHALL BE OF LIKE EFFECT AS THOUGH SHOWN OR MENTIONED IN BOTH. SPECIFICATIONS AND PLANS REFERRED TO IN ANY OF THE CONTRACT DOCUMENTS SHALL BE CONSIDERED AS BEING INCLUDED IN THE DOCUMENT IN WHICH SUCH REFERENCE IS MADE. A REFERENCE TO A PARTICULAR SPECIFICATION OR STANDARD PLAN IN A CONTRACT DOCUMENT SHALL EXCLUDE ANY EARLIER OR LATER MODIFICATION THEREOF. WHEN A PARTICULAR STANDARD OR SPECIFICATION IS REFERRED TO, SUCH REFERENCE SHALL BE TO THE STANDARD OR SPECIFICATION INCLUDING OFFICIALLY ADOPTED REVISIONS OR AMENDMENTS THERETO WHICH ARE IN FORCE AT THE TIME OF ADVERTISING FOR BIDS.
1.3 ALL WORK SHALL CONFORM TO THE APPROVED AND CURRENT EDITIONS OF ALL FEDERAL, STATE AND LOCAL CODES HAVING JURISDICTION.
1.4 THE DOCUMENTS SHALL NOT BE SCALED FOR INFORMATION. ALL DIMENSIONS ARE NOMINAL, UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS PRIOR TO SUBMITTING BIDS, AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES, INCLUDING DISCREPANCIES BETWEEN ALL ENGINEERING DISCIPLINES AND OBTAIN WRITTEN CLARIFICATION FROM THE OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
1.5 THE ARCHITECT IS NOT RESPONSIBLE FOR THE MEANS OR METHODS OF CONSTRUCTION.
1.6 GENERAL CONTRACTOR SHALL ENSURE ALL NECESSARY APPROVALS AND PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF THE WORK.
1.7 THE GENERAL CONDITIONS OF THE AIA DOCUMENT A-201, LATEST EDITION, ARE PART OF THIS CONTRACT AND SHALL APPLY TO ALL CONTRACTORS.
1.8 THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, APPOINTMENTS, EQUIPMENT AND SERVICES NECESSARY AND REQUIRED TO COMPLETE HIS SCOPE OF WORK AS INDICATED ON THE DRAWINGS AND/OR CALLED FOR IN THE SPECIFICATIONS.
1.9 THE GENERAL CONTRACTOR SHALL PROVIDE NECESSARY ENCLOSURES BARRIERS, SCAFFOLDING, LADDERS, TEMPORARY SUPPORTS, BRACINGS, ETC., AS REQUIRED FOR SAFETY, AS IT RELATES TO HIS SCOPE OF WORK.
1.10 ALL CONTRACTORS AND SUBCONTRACTORS ON THIS PROJECT SHALL BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES, METHODS SAFETY AND SECURITY ON THE JOB SITE.
1.11 GENERAL CONTRACTOR SHALL COORDINATE ALL WORK BY AND BETWEEN THE SUBCONTRACTORS.
1.12 THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK BY AND BETWEEN THE SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR THE SUPERVISION OF THE WORK. THE GENERAL CONTRACTOR SHALL BEAR ALL COSTS ARISING FROM RECTIFYING WORK KNOWINGLY PERFORMED CONTRARY TO LAW OR BEST PRACTICE.
1.13 THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ON THIS PROJECT SHALL BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES, METHODS OF CONSTRUCTION, SAFETY AND SECURITY ON THE JOB SITE.
1.14 MATERIALS, METHODS AND QUALITY OF WORKMANSHIP SHALL MEET OR EXCEED INDUSTRY STANDARDS.
1.15 GUARANTEE & PERFORMANCE: THE CONTRACTOR, IN HIS ACCEPTANCE OF THE CONTRACT FOR THE WORK HEREIN, AGREES THAT THE GUARANTEE PERIODS COVERING LABOR AND WORKMANSHIP, MATERIALS, AND EQUIPMENT SHALL BE FOR ONE YEAR UNLESS OTHERWISE REQUIRED IN THE SPECIFICATIONS.
1.16 THE CONTRACTOR'S PRICE SHALL ALSO INCLUDE INSURANCE COVERAGES; AND PROVISIONS FOR ALL NECESSARY SECURITY AND SAFETY REQUIREMENTS. THE CONTRACTOR SHALL NOT COMMENCE WORK UNDER THIS CONTRACT UNTIL HE HAS OBTAINED ALL THE INSURANCE NECESSARY. THE INSURANCE REQUIRED SHALL BE MAINTAINED IN FORCE UNTIL ALL WORK TO BE PERFORMED UNDER THE TERMS OF THE CONTRACT IS SATISFACTORILY COMPLETED AND ACCEPTED.
1.17 ALL DRAWINGS AND SPECIFICATIONS AND COPIES THEREOF FURNISHED BY GAMBINO + LAPORTA ARCHITECTURE PC ARE AND SHALL REMAIN THE PROPERTY OF GAMBINO + LAPORTA ARCHITECTURE PC. THEY ARE TO BE USED ONLY WITH RESPECT TO THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT.
1.18 THESE DRAWINGS ARE INTENDED ONLY AS AN OUTLINE FOR CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ALL DESIGN NOT SPECIFICALLY AND COMPLETELY SHOWN AND SPECIFIED. ALL ASSUMPTIONS REACHED FROM REVIEW OF THESE DRAWINGS SHALL BE TOTALLY THE RESPONSIBILITY OF THE PARTY MAKING THE ASSUMPTIONS.
1.19 ALL DIMENSIONS ON PLANS ARE NOMINAL AND ARE CALCULATED EXISTING CONDITION. CRITICAL DIMENSIONS ARE NOTED 'HOLD'. FINISHED DIMENSIONS WILL VARY IN ACTUAL CONSTRUCTION.
1.20 THE CONTRACTOR SHALL VERIFY AND PROTECT ALL SERVICE LINES AND EXISTING SITE AREAS FROM DETERIORATION OR DAMAGE.
1.21 THE CONTRACTOR SHOULD MAKE NO STRUCTURAL CHANGES WITHOUT WRITTEN CONSENT OF THE ARCHITECT.
1.22 ALL MANUFACTURER'S PRINTED WARNINGS FOR HANDLING OF PRODUCTS MUST BE STRICTLY OBSERVED. THE WORDS 'OR EQUAL' ARE TO BE ASSUMED WHENEVER A SPECIFIC MANUFACTURER IS NOTED.
1.23 ALL WORK IN PROGRESS SHALL BE ADEQUATELY BRACED AND PROTECTED UNTIL CONSTRUCTION IS COMPLETED.
1.24 THE BUILDING PERMIT AND ALL REQUIRED PERMITS AND INSPECTION FEES SHALL BE OBTAINED BY THE CONTRACTOR.
1.25 CONTRACTOR IS RESPONSIBLE FOR SAFETY PRECAUTIONS ON THE JOB.
1.26 THE OWNER ASSUMES NO LIABILITY FOR EXISTING DEVELOPED CONDITIONS IN RESPECT TO THE BUILDING SITE, SURFACE WATER, ROCK OR SOIL, BACK FILL MATERIALS OR METHODS USED, ETC.
1.27 CONTRACTOR IS RESPONSIBLE FOR CONTRACTING WITH OR HIRING A THIRD PARTY INSPECTION AGENCY FOR ALL REQUIRED SPECIAL INSPECTION/PROGRESS INSPECTIONS.

ABBREVIATIONS

Table with 2 columns: Abbreviation and Full Name. Includes ACT (ACTUAL/ACOUSTIC CEILING TILE), AFF (ADDITIONAL ABOVE FINISH FLOOR), ALUM (ALUMINUM), ANOD (ANODIZED), AFFRXX (APPROXIMATE), etc.

DRAWING SYMBOLS

Legend for drawing symbols including Room Symbol, Toilet Accessory, Partitions Symbol, Window Type, Section Symbol, Detail Symbol, Elevation Symbol, and Door Symbol. Includes symbols for identification, sheet number, and direction of view.

ZONING INFORMATION/ZONING ANALYSIS

Table showing zoning regulations for Residential Bulk Regulations in Residence Districts. Columns include Regulation Code, Description, and Change Status. Includes chapters for accessory off street parking and quality housing program.

SPECIAL/PROGRESS INSPECTIONS

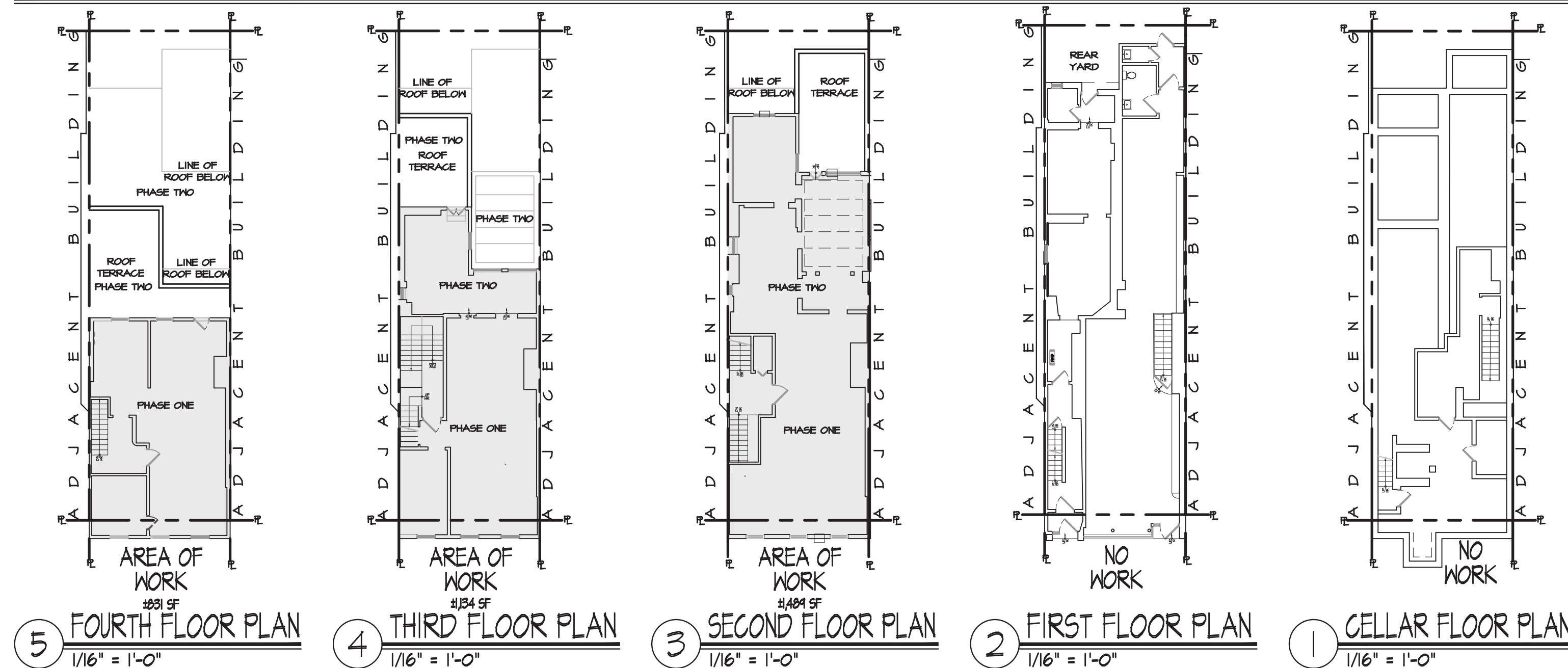
Table listing special/progress inspections. Columns include Inspection Type, Code/Section, and Reference Code. Includes Progress Inspection, Energy Code Compliance Inspections, and Final.

ZONING INFORMATION

PARCEL INFORMATION: BLOCK: 590, LOT: 10, ZONING DISTRICT: RT-2 (C1-5 COMMERCIAL OVERLAY), LOT AREA: 1,841.84 SF, etc.

NOTE: 1. NO CHANGE IN ZONING REQUIREMENTS, BULK, USE OR ANY PROVISIONS THAT WOULD CONSTITUTE A ZONING REVIEW.

AREA OF WORK



LEGEND

Denotes area of work.

CODE COMPLIANCE- 1968 NYC BUILDING CODE

ALL CONSTRUCTION TO COMPLY WITH THE NEW YORK CITY ADMINISTRATIVE CODE TITLE 28 AND ALL APPLICABLE SUB-CODES.

1968 THE CITY OF NEW YORK BUILDING CODE

NYC DOB-ALTERATION TYPE II-INTERIOR REPAIR WORK

Table showing existing construction classification and building area. Includes columns for Existing Construction Classification, Building Information, Existing Building Area (Outside Face of Exterior Walls), Area of Work (Inside Face of Exterior Walls), Existing Building Height, and Existing Construction Classification.

LANDMARKS PRESERVATION COMMISSION NOTE

NO WORK TO BUILDING FACADE, WINDOWS, AND/OR BUILDING EXTERIOR. ALL EXISTING EXTERIOR CONDITIONS TO REMAIN.

TENANT PROTECTION

A.C. 28-104.8.4 BUILDING CONTAINS NO DWELLING UNITS THAT WILL REMAIN OCCUPIED DURING THE CONSTRUCTION PROCESS THEREFORE NO TENANT PROTECTION PLAN IS REQUIRED.

PLUMBING NOTE

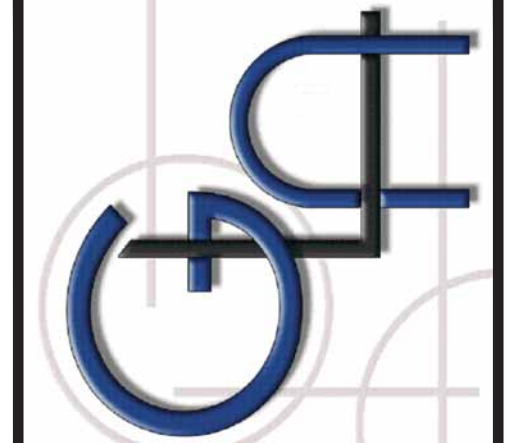
ALL PLUMBING WORK ASSOCIATED WITH ROOF DRAINS TO BE FILED UNDER A SEPARATE APPLICATION.

LIST OF DRAWINGS

Table listing the list of drawings including Title Sheet, Framing Plans, Building Elevations, Longitudinal Section A-A, Longitudinal Section B-B, Transverse Section, Demo Floor Plans, Demo Elevations, Demo Sections, Repair Details, and Joist Details.

LOCATION PLAN

SITE PLAN INFORMATION IS TAKEN FROM THE NYC DEPARTMENT OF FINANCE TAX MAPS



GAMBINO + LAPORTA ARCHITECTURE, PC 1298 RICHMOND ROAD STATEN ISLAND, NY 10304 PHONE: 718.667.4682 | FAX: 718.667.1196 EMAIL: STUDIO@GLARCH.COM WWW.GLARCH.COM

Table with columns: Revision, Date, Description. Includes revision 1 (10-27-17) 'ISSUED FOR FILING' and revision 2 (12-20-17) 'ISSUED FOR PHASE ONE SCOPE'.

Table with columns: Date, Issued For Filing, Issued For Phase One Scope, Issued For Phase Two Scope. Includes dates 10-27-17, 12-20-17, 9-12-18.

275 BLEEKER STREET BLOCK NO. 590 LOT NO. 10 NEW YORK, NY 10014 PROJECT CLIENT: WHARTON REALTY 500 FIFTH AVENUE 54TH FLOOR NEW YORK, NY 10010

TITLE SHEET SCALE: AS NOTED SEAL AND SIGNATURE

STEVEN GAMBINO, RA THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHICH THE WORK WAS CONTRACTED OR TO WHOM IT IS CREDITED. THIS DRAWING MAY NOT BE COPIED, REPRODUCED, DISTRIBUTED OR REPRODUCED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF GAMBINO+LAPORTA ARCHITECTURE PC. COPYRIGHT 2018, G.L.A. # 013. 11.18.0001

DATE: 10/27/17 PROJECT NO.: GLA16-0447 DESIGN BY: STEVEN GAMBINO, RA CHECKED BY: [Signature] DRAWING NO.: 56 SHEET NO.: 01 OF 46 T000.03



# GENERAL DEMOLITION NOTES

- ANY ERRORS, OMISSIONS, OR UNUSUAL CONDITIONS TO BE REPORTED TO GAMBINO + LAPORTA ARCHITECTURE, PC, IMMEDIATELY.
- DEMOLITION OPERATIONS ARE TO BE CONDUCTED IN ACCORDANCE WITH CURRENT APPROPRIATE OSHA RULES AND 2014 NEW YORK CITY BUILDING CODE SECTION BC 3306
- BC 3306.2: DEMOLITION OPERATIONS SHALL NOT COMMENCE UNTIL THE APPLICABLE PEDESTRIAN AND ADJOINING PROPERTY IS IN PLACE AS REQUIRED.
- BC 3306.3.2: ADJOINING PROPERTY OWNERS SHALL BE NOTIFIED OF UPCOMING DEMOLITION OPERATIONS IN WRITING NOT LESS THAN 10 DAYS PRIOR TO THE SCHEDULING STARTING DATE OF THE DEMOLITION. THE WRITTEN NOTICE SHALL PROVIDE A DESCRIPTION OF THE WORK TO BE PERFORMED, THE TIME FRAME AND SCHEDULE, AND CONTACT INFORMATION OF THE PERSON CAUSING THE DEMOLITION AND OF THE DEPARTMENT.
- BC 3306.4: WHERE MECHANICAL DEMOLITION EQUIPMENT, OTHER THAN HANDHELD DEVICES, IS TO BE USED IN THE FULL OR PARTIAL DEMOLITION OF A BUILDING OR IS TO BE USED TO REMOVE DEBRIS OR MOVE MATERIAL, APPROVAL OF THE COMMISSIONER FOR THE USE OF MECHANICAL DEMOLITION EQUIPMENT MUST BE OBTAINED PRIOR TO THE COMMENCEMENT OF DEMOLITION OPERATIONS.
- BC 3306.4.3: DUST PRODUCING OPERATIONS SHALL BE WETTED DOWN TO THE EXTENT NECESSARY TO CONTROL THE DUST.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION AND PROTECTION OF THE UTILITIES DURING DEMOLITION. CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT ANY ADJACENT EXISTING STRUCTURE AND ABOVE GROUND UTILITIES FROM BEING DAMAGED DURING DEMOLITION.
- BC 3303.5.2: NO MATERIAL SHALL BE DROPPED OR THROWN OUTSIDE THE EXTERIOR WALLS OF A BUILDING.
- PROVIDE/ MAINTAIN EGRESS PATHS THROUGHOUT DEMOLITION.
- DEMOLISHED MATERIALS, UNLESS OTHERWISE NOTED, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF SITE ON A REGULAR BASIS AND IN A LEGAL MANNER. (SEE TITLE SHEET FOR ADDITIONAL NOTES)

## FIRE PREVENTION AND FIRE PROTECTION NOTES:

- BC 3303.7: FIRE-FIGHTING EQUIPMENT, ACCESS AT THE CONSTRUCTION OR DEMOLITION SITE, AND THE CONDUCT OF ALL CONSTRUCTION OR DEMOLITION OPERATIONS AFFECTING FIRE PREVENTION AND FIRE FIGHTING SHALL COMPLY WITH THE NYC FIRE CODE.

## DEMOLITION PROCEDURE

- SECURE SITE WITH CONSTRUCTION FENCES THAT MEET THE REQUIREMENTS OF SECTION BC 3307.7.
  - BEFORE COMMENCEMENT OF ACTUAL DEMOLITION, ALL AREAS SHALL BE THOROUGHLY CLEANED OF COMBUSTIBLE MATERIALS AND DEBRIS.
  - BEFORE COMMENCEMENT OF ACTUAL DEMOLITION, ALL GLASS IN WINDOWS, DOORS, SKYLIGHTS, FIXTURES, AND ALL OTHER NON-STRUCTURAL ELEMENTS SHALL BE REMOVED.
  - ALL FOUNDATION, WALL AND SLAB ON GRADE TO BE REMAINED AND UNDISTURBED.
- HAND HELD DEVICES ALLOWED FOR DEMOLITION:**
- CHAIN SAW/ CUTOFF SAWS/ CIRCULAR SAW
  - RECIPROCATING SAW
  - WRECKING BARS
  - CLAW HAMMERS
  - CHISELS (VARIOUS SIZES)
  - DEMOLITION HAMMER WITH GENERATOR/ PNEUMATIC HAMMER WITH COMPRESSOR
  - CHIPPING HAMMER/ CHIPPING GUNS

# DEMOLITION DEBRIS NOTES

## LIST OF DECONSTRUCTION MATERIALS - POTENTIAL APPLICATION FOR RECYCLING MATERIALS:

- ALUMINUM STRAPS, AND SHEET: RECYCLE AS A METAL
- ASPHALT: BREAK UP AND TRANSPORT ASPHALT-TO-ASPHALT RECYCLING FACILITY OR RECYCLING SITE.
- BRICK: CAN BE REUSED IF WHOLE, CRUSHED FOR USE AS LANDSCAPE COVER, SUB-BASE MATERIAL, OR FILL.
- BUILDING COMPONENT AND FIXTURES: WINDOWS, DOORS, CABINETS, HARDWARE, PLUMBING AND ELECTRICAL FIXTURES MAY BE SALVAGED. PORCELAIN BATH FIXTURES MAY BE CRUSHED FOR FILL.
- CARPET AND CARPET PAD: STORE CLEAN, DRY CARPET AND PAD IN A CLOSED CONTAINER OR TRAILER. CARPET MAY BE ABLE TO BE REUSED OR RECYCLED IF SUFFICIENT QUANTITIES ARE GENERATED.
- CEILING PANEL: IF SUFFICIENT QUANTITIES ARE GENERATED, SORT BY SIZE PALLETIZE, AND SHRINK-WRAP FOR SHIPMENT TO AND RECYCLING BY A CEILING TILE MANUFACTURER.
- CONCRETE: CAN BE CRUSHED AND GRADED FOR USE AS RIPRAP, AGGREGATE, SUB-BASE MATERIAL, OR FILL. NEUTRALIZE ALKALINITY IF PLANTING ABOVE. REMOVE.
- REINFORCEMENT AND OTHER METALS FROM CONCRETE AND SORT WITH OTHER METALS.
- COPPER PIPE AND ACCESSORIES: RECYCLE AS A METAL.
- CORRUGATED CARDBOARD AND PAPER: SEPARATE FOR RECYCLING INTO NEW PAPER PRODUCTS. PAINTED, WAXED OR MUDDY CARDBOARD OR PAPER IS UNSUITABLE FOR RECYCLING AND SHOULD BE DISCARDED.
- DIMENSIONAL LUMBER, ORIENTED STRAND BOARD, PLYWOOD, GRATES, AND PALLET: SORT LARGER PIECES FOR REUSE. WOOD UNSUITABLE FOR REUSE MAY BE USED TO MANUFACTURE PARTICLE BOARD AND OTHER COMPOSITE WOOD PRODUCTS. CHIP OR SHRED WOOD FOR USE AS ANIMAL BEDDING, LANDSCAPE USE, GROUND COVER, MULCH, COMPOST, PULP, OR PROCESS FUEL. DO NOT CHIP OR SHRED STAINED, PAINTED OR TREATED WOOD. SOME RECYCLERS HAVE EQUIPMENT TO REMOVE NAILS.
- DOORS AND HARDWARE: IF SEPARATED FOR REUSE, BRACE OPEN END OF DOOR FRAMES. EXCEPT FOR REMOVING DOOR CLOSURES, LEAVE DOOR HARDWARE ATTACHED TO DOORS.
- GLASS CONTAINERS: RECYCLE AS GLASS.
- GYPSON BOARD, GYPSON WALLBOARD TO BE PROCESS AND LAND SPREAD MUST BE NEAT AND CLEAN CONSTRUCTION SCRAP FREE OF TAPE, JOINT COMPOUNDS, PAINT, NAILS, SCREWS, OR OTHER CONTAMINANTS. ONLY REGULAR 1/2" DRYWALL, TYPE "X" DRYWALL, AND PLASTER BASE (STANDARD BLUE BOARD) MAY BE USED FOR A SOIL AMENDMENT. THE FOLLOWING PAPER-FACED GYPSON PANEL CAN NOT BE USED AS A SOIL AMENDMENT: MR (GREEN BOARD), SHEATHING (BROWN/BLACK BOARD), MOLD RESISTANT PANELS OR SPECIALTY TYPE "X". THESE CONTAIN ADDITIVES WHICH MAY NOT BE SUITABLE AS A SOIL AMENDMENT.

# PARTITION LEGEND

- EXISTING BUILDING ELEMENTS TO REMAIN
- EXISTING BUILDING ELEMENTS TO BE REMOVED

# SEQUENCE OF OPERATIONS

- SUPPORT ANY AND ALL STRUCTURAL / LOAD BEARING MEMBERS
- REPAIR / REMOVE EXTERIOR WALLS
- REMOVE AND REPLACE SUB-FLOOR AND FLOOR FRAMING

# TENANT PROTECTION

A.C. 28-104.8.4

BUILDING CONTAINS NO DWELLING UNITS THAT WILL REMAIN OCCUPIED DURING THE CONSTRUCTION PROCESS THEREFORE NO TENANT PROTECTION PLAN IS REQUIRED.

# REPAIR NOTES

## SAFE SUPPORT OF LOADS

NEW FRAMING, INCLUDING ALL RELATED BRACES, SHORING, FRAMING AND AUXILIARY CONSTRUCTION, SHALL BE PROPORTIONED, ERECTED, SUPPORTED, BRACED AND MAINTAINED SO THAT IT WILL SAFELY SUPPORT ALL VERTICAL AND LATERAL LOADS THAT MIGHT BE APPLIED UNTIL SUCH LOADS CAN BE SUPPORTED BY THE PERMANENT CONSTRUCTION.

## VERTICAL AND LATERAL LOADS

VERTICAL AND LATERAL LOADS SHALL BE CARRIED TO THE GROUND BY THE FRAMING AND REPAIR SYSTEM AND BY THE NEW FRAMING AFTER IT HAS ATTAINED ADEQUATE STRENGTH FOR THAT PURPOSE, OR BY EXISTING STRUCTURES, FRAMING AND NOGGS AND THEIR SUPPORTS SHALL BE DESIGNED SO AS NOT TO DAMAGE EXISTING OR NEWLY INSTALLED STRUCTURES.

## TEMPORARY BRACING

TEMPORARY BRACING SHALL BE PROVIDED TO SUPPORT ALL LOADS IMPOSED UPON THE FRAMEWORK DURING CONSTRUCTION THAT ARE IN EXCESS OF THOSE FOR WHICH THE FRAMEWORK WAS DESIGNED.

## UNSAFE CONDITIONS

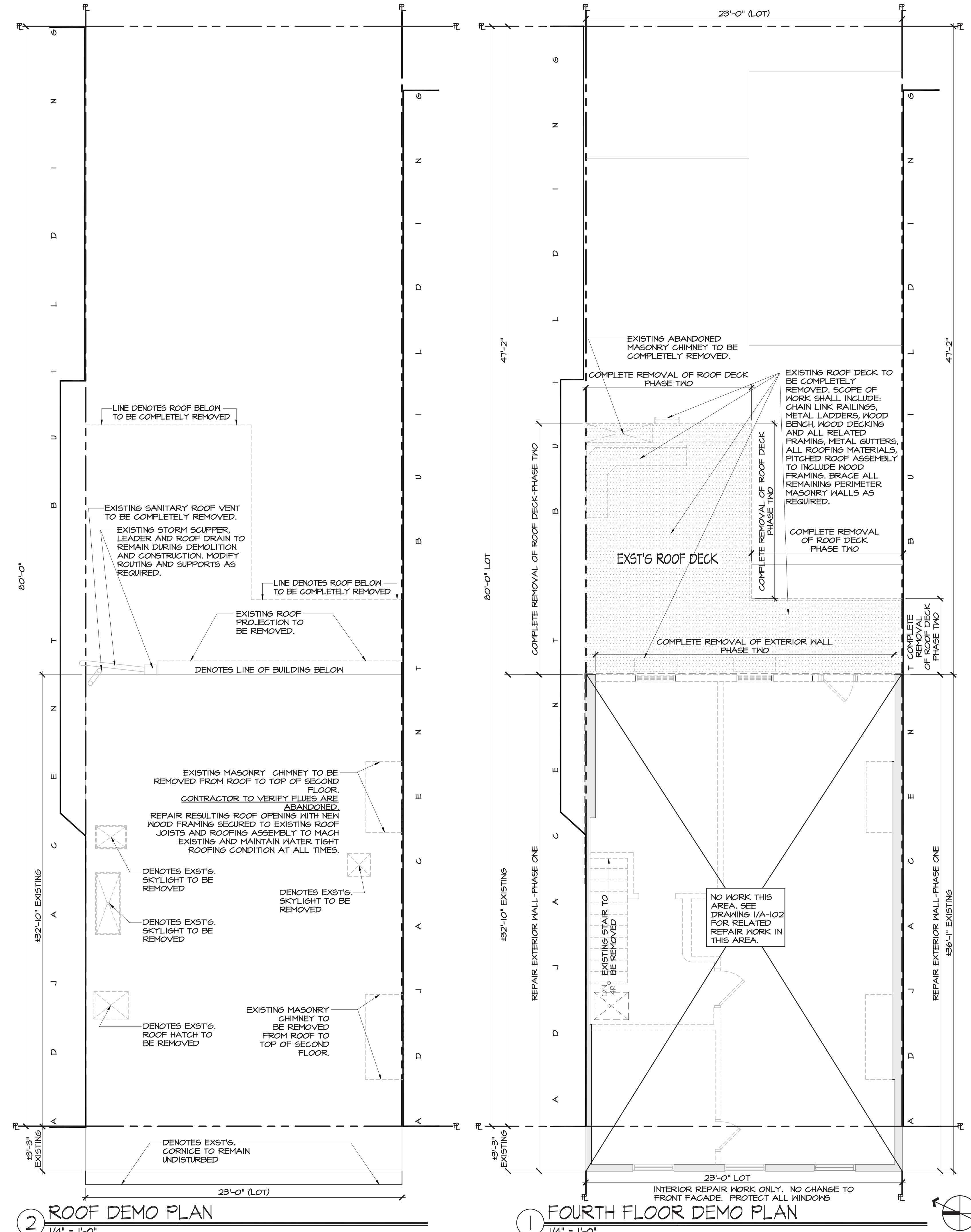
ANY UNSAFE CONDITION OR NECESSARY ADJUSTMENT REVEALED BY INSPECTION SHALL BE REMEDIATED IMMEDIATELY. IF DURING CONSTRUCTION, ANY WEAKNESS DEVELOPS AND THE EXISTING BUILDING FRAMING SHOWS ANY UNDUE SETTLEMENT OR DISTORTION, THE WORK SHALL BE STOPPED, THE AFFECTED CONSTRUCTION STOPPED IF PERMANENTLY DAMAGED, AND THE BUILDING STRUCTURE BRACED AND SUPPORTED.

## ADJOINING WALLS

MAINTAIN THE STRUCTURAL INTEGRITY OF SUCH WALLS AND ADJOINING STRUCTURE, AND HAVE A REGISTERED DESIGN PROFESSIONAL INVESTIGATE THE STABILITY AND DESIGN OF THE WALL AND ADJOINING STRUCTURE, AND TAKE ALL NECESSARY STEPS TO PROTECT SUCH WALL AND STRUCTURE.

# DEMOLITION DEBRIS NOTES CONTINUED

- LAND CLEARING DEBRIS: CAN BE CHIPPED OR SHREDDED FOR USE AS A GROUND COVER, MULCH, COMPOST, PULP OR PROCESS FUEL.
- LIGHTING FIXTURES: SEPARATE LAMPS BY TYPE AND PROTECT FROM BREAKAGE. FLUORESCENT TUBES MUST BE RECYCLED BY LAW.
- MISCELLANEOUS FERROUS AND NONFERROUS METALS: SEPARATE FOR RECYCLING. BANDING, STUD CUT-OFFS, CEILING GRID, DUCTWORK, CONDUIT, REBAR, ROOFING, PIPE, SHEET METALS, EXTRUDED METALS, CASTINGS, MISCELLANEOUS STEEL SHAPES, AND OTHER METAL PARTS.
- PIPING: IF SEPARATED FOR REUSE, REDUCE PIPING TO STRAIGHT LENGTHS AND STORE BY TYPE AND SIZE. SEPARATE SUPPORTS, HANGERS, VALVES, SPRINKLER HEADS, AND OTHER COMPONENTS BY TYPE AND SIZE.
- PRECAST CONCRETE PANELS: MAY BE ABLE TO BE CRUSHED AND USED FOR EROSION CONTROL OR LANDSCAPE FEATURES.
- SHEET METAL SCRAP AND METAL DUCT ACCESSORIES: RECYCLE AS A METAL.
- STRUCTURAL STEEL: CAN BE USED IN THE MANUFACTURE OF STRUCTURAL STEEL.
- VINYL: SIDING, WINDOW EXTRUSIONS, FLOOR TILES, AND SHEET FLOORING MAY BE ABLE TO BE SEPARATED FOR RECYCLING INTO NEW VINYL PRODUCTS.



2 ROOF DEMO PLAN  
1/4" = 1'-0"

1 FOURTH FLOOR DEMO PLAN  
1/4" = 1'-0"

**GAMBINO + LAPORTA ARCHITECTURE, PC**  
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REV#	DATE	DESCRIPTION
1	10-27-17	ISSUED FOR FILING
2	12-20-17	ISSUED FOR PHASE ONE SCOPE
3	2-17-18	ISSUED FOR P.A.A.
4	9-12-18	ISSUED FOR PHASE TWO SCOPE

PROJECT TITLE	275 BLEEKER STREET
BLOCK NO.	590
LOT NO.	10
CLIENT	WHARTON REALTY 500 FIFTH AVENUE 54TH FLOOR NEW YORK, NY 10110

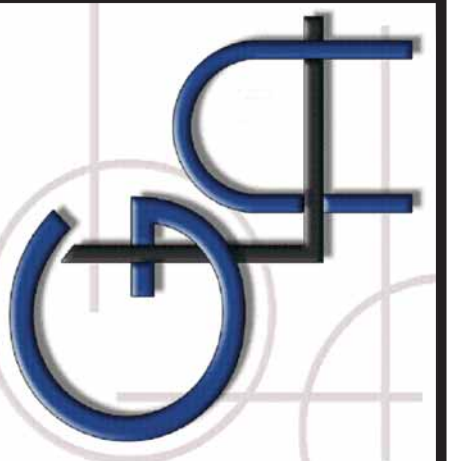
PHASE TWO DEMO PLAN: FOURTH FLOOR & ROOF DEMO PLAN
SCALE: AS NOTED

SEAL AND SIGNATURE

STEVEN GAMBINO, R.A.

DATE	PROJECT NO.
12/20/17	GLA16-0447
DRAWN BY	NT
CHECKED BY	SG
DRAWING NO.	DM102.00
SHEET NO.	10 OF 46

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**ROOF DECK REMOVAL NOTE:**  
EXISTING ROOF DECK TO BE COMPLETELY REMOVED. SCOPE OF WORK SHALL INCLUDE: CHAIN LINK RAILINGS, METAL LADDERS, WOOD BENCH, WOOD DECKING AND ALL RELATED FRAMING, METAL GUTTERS, ALL ROOFING MATERIALS, PITCHED ROOF ASSEMBLY TO INCLUDE WOOD FRAMING. BRACE ALL REMAINING PERIMETER MASONRY WALLS AS REQUIRED.

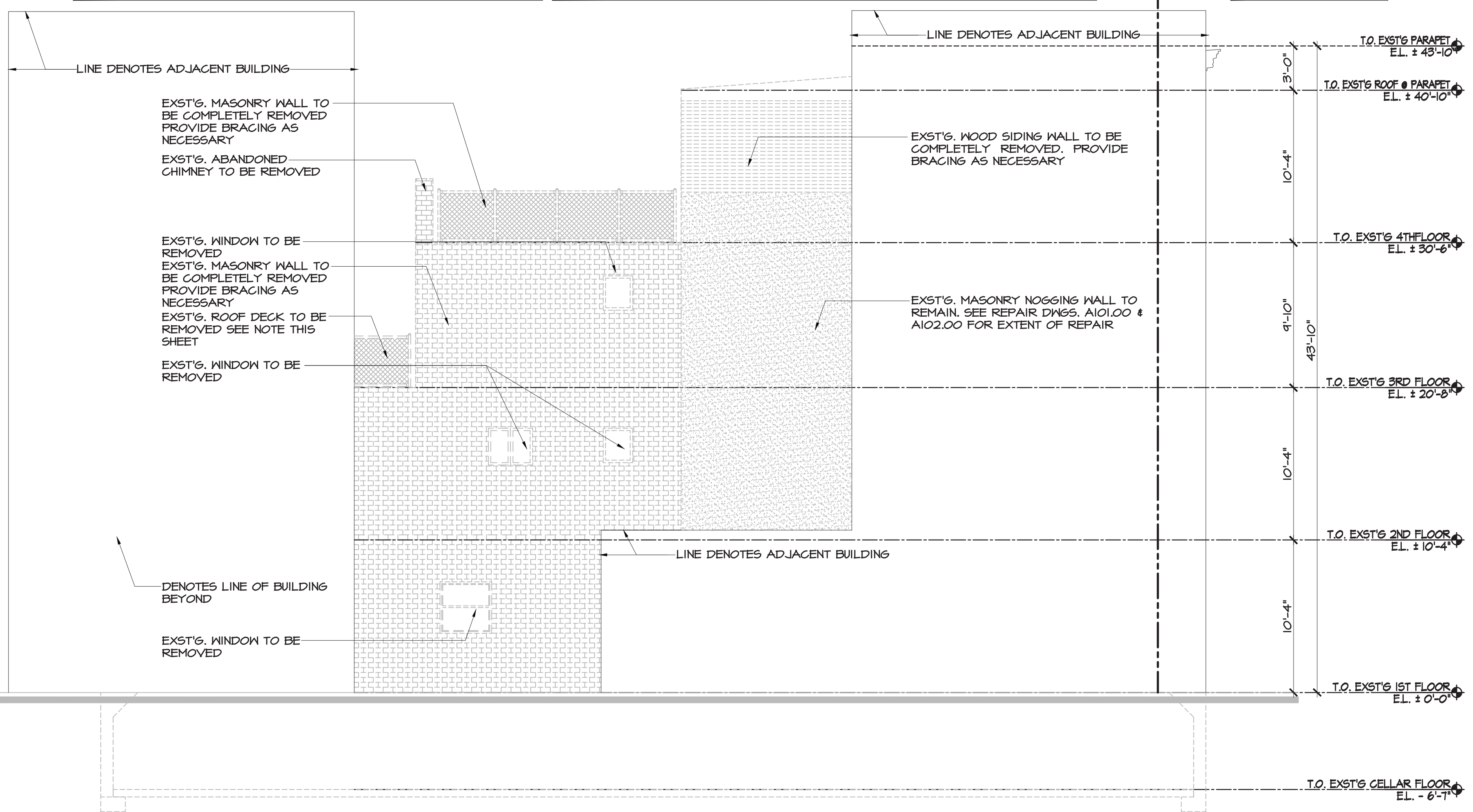
PROVIDE PROTECTION FOR ALL WINDOWS ON ADJOINING PRIVATE PROPERTY THAT ARE 20 FEET OR LESS FROM AN UNENCLOSED PERIMETER. WHERE SAID WINDOW PROVIDES REQUIRED MEANS OF LIGHTING, VENTILATION OR EGRESS, SUCH PROTECTION SHALL NOT BE ALLOWED TO INTERFERE WITH SUCH REQUIRED MEANS.

**GENERAL CONTRACTOR NOTES:**  
 • CONTRACTOR SHALL PROVIDE PROTECTION OF ALL EXTERIOR BUILDING CONDITIONS ON ADJACENT PROPERTY PRIOR TO DEMOLITION AND DURING ALL PHASES OF CONSTRUCTION.  
 • CONTRACTOR / OWNER SHALL OBTAIN ACCESS AGREEMENT FROM ADJACENT PROPERTY OWNER FOR ALL WORK NECESSARY BEYOND THE PROPERTY LINE OF THE PROJECT SITE.  
 • CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DEPARTMENT OF BUILDINGS OF ANY DAMAGE CAUSED TO THE ADJOINING PROPERTY DURING THE DEMOLITION OR CONSTRUCTION PROCESS.  
 • ANY AND ALL STRUCTURAL NETTING USED TO PROTECT THE ADJOINING PROPERTY SHALL COMPLY WITH ANSI A10.11  
 • CONTRACTOR SHALL PROVIDE SHORING & BRACING TO EXISTING STRUCTURE DURING DEMOLITION. SEE STRUCTURAL DRAWINGS FOR EXTENT OF WORK.

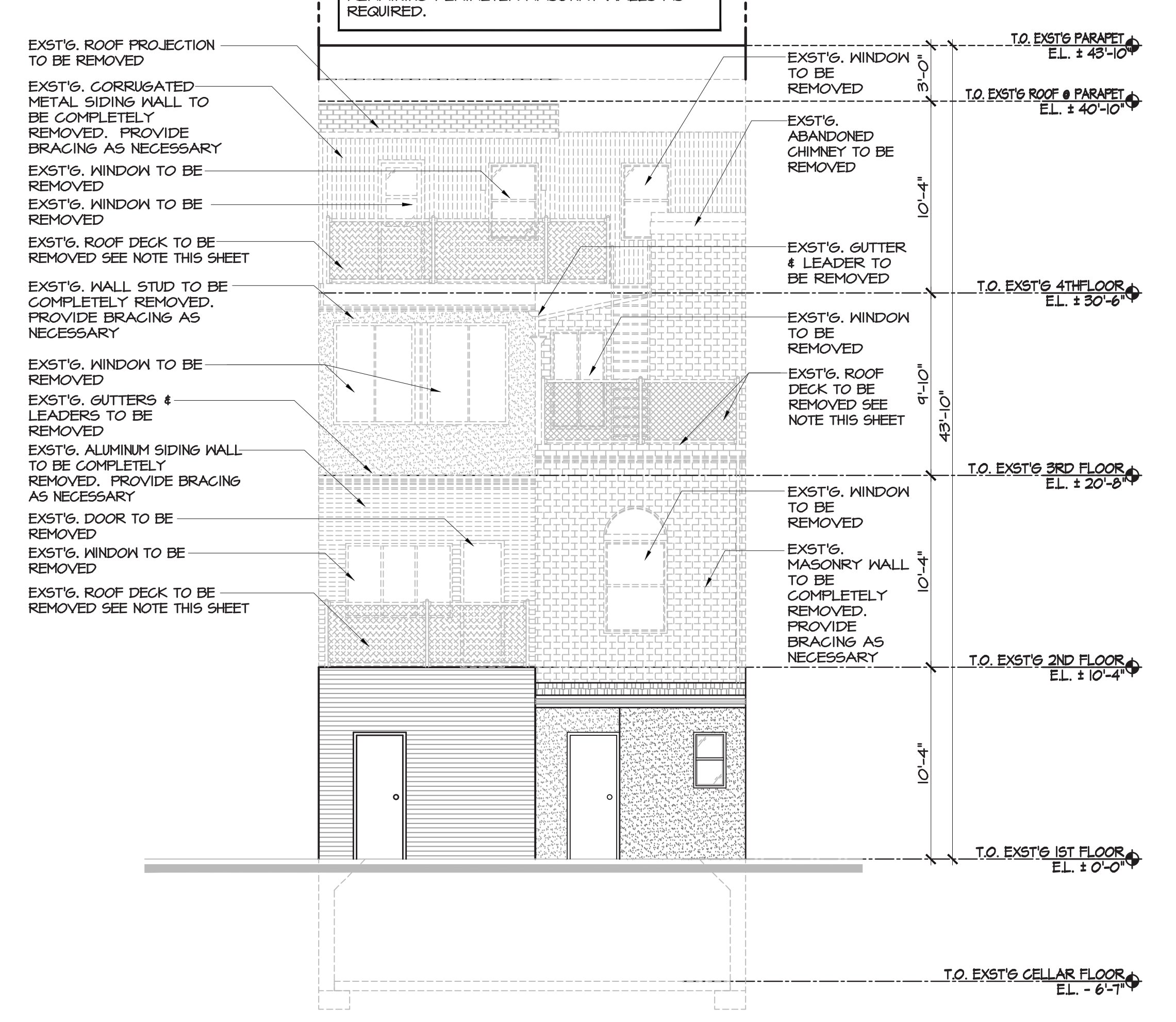
NO CHANGE TO FRONT FACADE, PROTECT ALL WINDOWS

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2 SIDE ELEVATION  
SCALE: 3/16" = 1'-0"  
(NORTH ELEVATION)



1 REAR ELEVATION  
SCALE: 3/16" = 1'-0"  
(EAST ELEVATION)

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3	2-17-18	ISSUED FOR P&A
4	9-12-18	ISSUED FOR PHASE TWO SCOPE

PROJECT TITLE: 275 BLEEKER STREET  
BLOCK NO. 590  
275 BLEEKER STREET  
NEW YORK, NY 10014  
LOT NO. 10

CLIENT: WHARTON REALTY  
500 FIFTH AVENUE, 54TH FLOOR  
NEW YORK, NY 10110

DRAWING TITLE: PHASE TWO DEMOLITION ELEVATIONS: NORTH & EAST

SCALE: AS NOTED

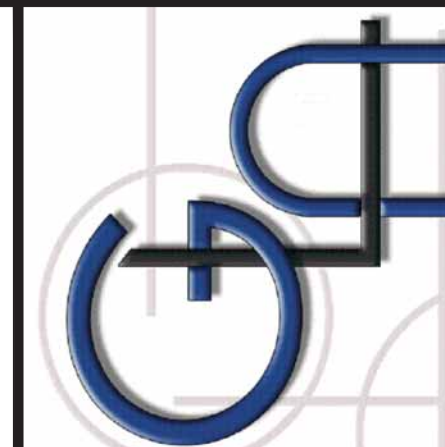
SEAL AND SIGNATURE

STEVEN GAMBINO, R.A.

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DATE: 01/12/2018	PROJECT NO.: GLA16-0441
DRAWN BY: MT	DESIGNED BY: MT
CHECKED BY: 156	
DRAWING NO.: DM200.00	

SHEET NO. 11 OF 46



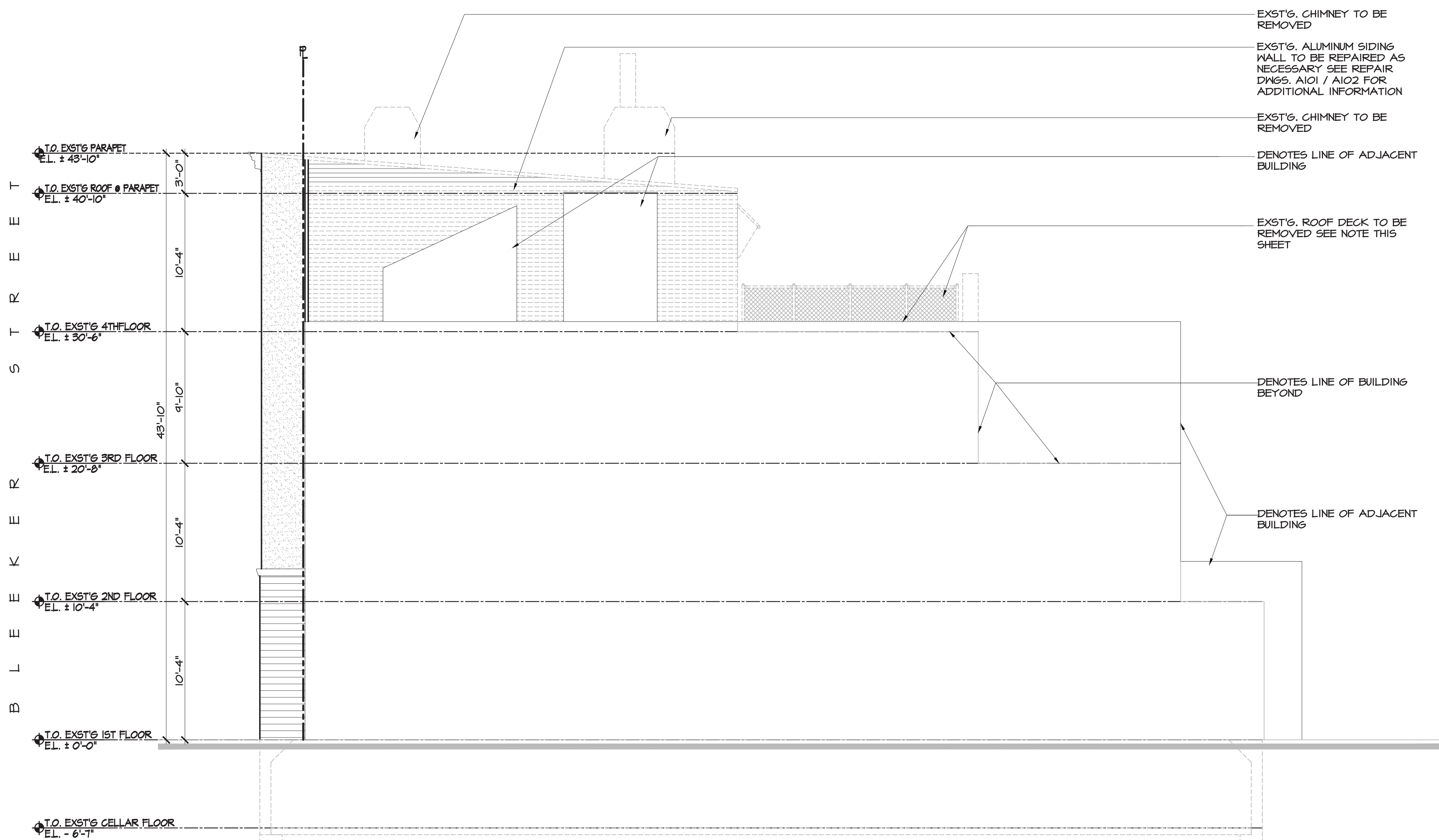
**GAMBINO + LAPORTA**  
**ARCHITECTURE, PC**  
 1298 RICHMOND ROAD STATEN ISLAND, NY 10304  
 PHONE: 718.667.6682 | FAX: 718.667.1196  
 EMAIL: STUDIO@GLA-ARCH.COM  
 WWW.GLA-ARCH.COM

**ROOF DECK REMOVAL NOTE:**  
 EXISTING ROOF DECK TO BE COMPLETELY REMOVED. SCOPE OF WORK SHALL INCLUDE: CHAIN LINK RAILINGS, METAL LADDERS, WOOD BENCH, WOOD DECKING AND ALL RELATED FRAMING, METAL GUTTERS, ALL ROOFING MATERIALS, PITCHED ROOF ASSEMBLY TO INCLUDE WOOD FRAMING, BRACE ALL REMAINING PERIMETER MASONRY WALLS AS REQUIRED.

NO CHANGE TO FRONT FACADE. PROTECT ALL WINDOWS

**GENERAL CONTRACTOR NOTES:**

- CONTRACTOR SHALL PROVIDE PROTECTION OF ALL EXTERIOR BUILDING CONDITIONS ON ADJACENT PROPERTY PRIOR TO DEMOLITION AND DURING ALL PHASES OF CONSTRUCTION.
- CONTRACTOR / OWNER SHALL OBTAIN ACCESS AGREEMENT FROM ADJACENT PROPERTY OWNER FOR ALL WORK NECESSARY BEYOND THE PROPERTY LINE OF THE PROJECT SITE.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DEPARTMENT OF BUILDINGS OF ANY DAMAGE CAUSED TO THE ADJOINING PROPERTY DURING THE DEMOLITION OR CONSTRUCTION PROCESS.
- ANY AND ALL STRUCTURAL NETTING USED TO PROTECT THE ADJOINING PROPERTY SHALL COMPLY WITH ANSI A1011
- CONTRACTOR SHALL PROVIDE SHORING & BRACING TO EXISTING STRUCTURE DURING DEMOLITION. SEE STRUCTURAL DRAWINGS FOR EXTENT OF WORK.



EXIST'G. CHIMNEY TO BE REMOVED

EXIST'G. ALUMINUM SIDING WALL TO BE REPAIRED AS NECESSARY SEE REPAIR DNSS. A101 / A102 FOR ADDITIONAL INFORMATION

EXIST'G. CHIMNEY TO BE REMOVED

DENOTES LINE OF ADJACENT BUILDING

EXIST'G. ROOF DECK TO BE REMOVED SEE NOTE THIS SHEET

DENOTES LINE OF BUILDING BEYOND

DENOTES LINE OF ADJACENT BUILDING

**1 SIDE ELEVATION**  
 SCALE: 3/16" = 1'-0"  
 (SOUTH ELEVATION)

REVISION	DATE	DESCRIPTION
1	10-27-17	ISSUED FOR FILING
2	12-20-17	ISSUED FOR PHASE ONE SCOPE
3	2-7-18	ISSUED FOR PAA
4	9-12-18	ISSUED FOR PHASE TWO SCOPE

**PROJECT:** 275 BLEECKER STREET  
 275 BLEECKER STREET  
 NEW YORK, NY 10014

**CLIENT:** WHARTON REALTY  
 500 FIFTH AVENUE, 54TH FLOOR  
 NEW YORK, NY 10110

**DRAWING TITLE:** PHASE TWO DEMOLITION ELEVATIONS: NORTH & EAST

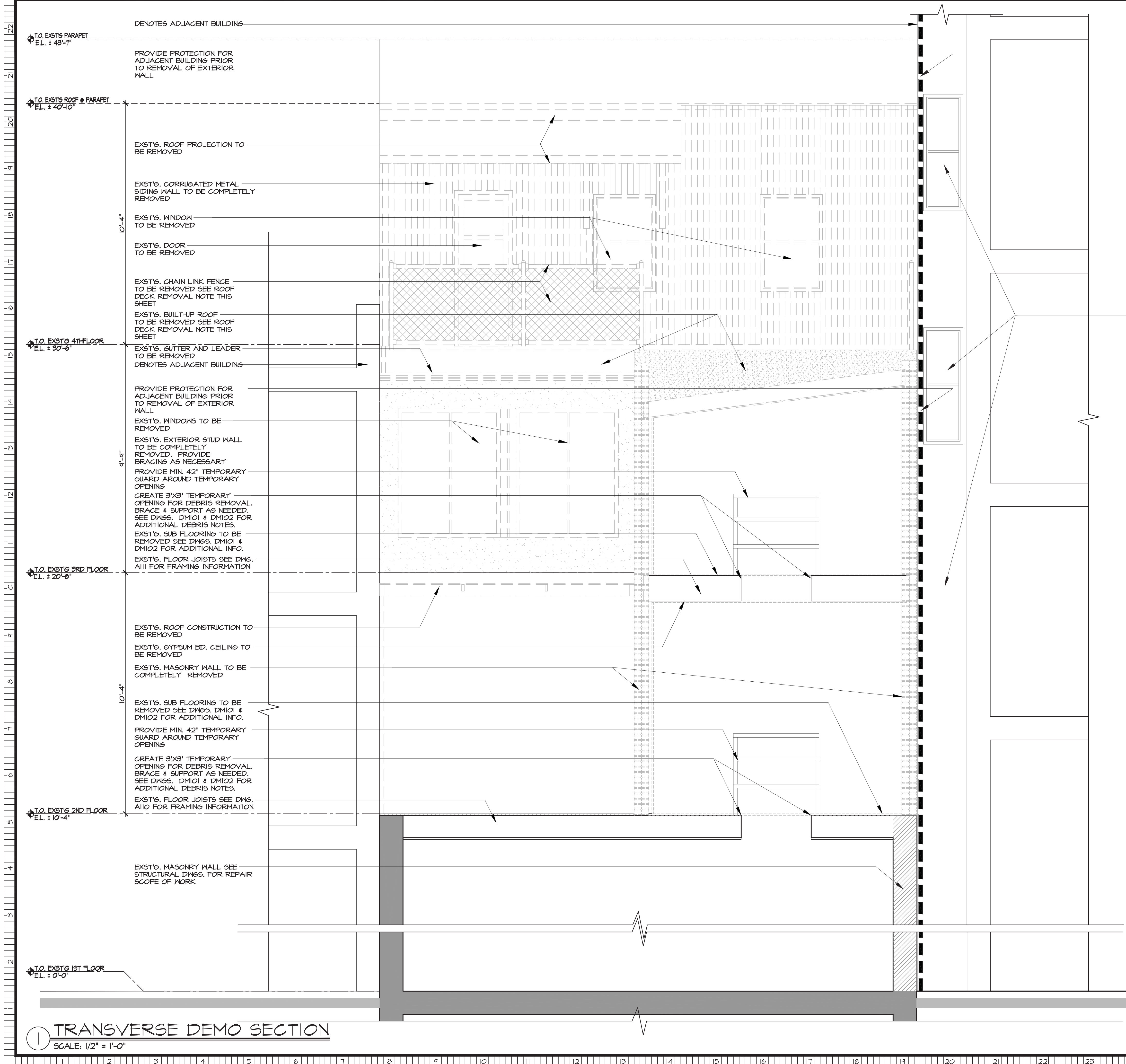
SCALE: AS NOTED

SEAL AND SIGNATURE

STEVEN GAMBINO, R.A.

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DATE: 12/27/17	PROJECT NO: GLA16-0447
DRAWN BY: MT	DESCRIPTION: DM201.00
CHECKED BY: 56	
DRAWING NO: DM201.00	
SHEET NO: 12	OF 46



### TENANT PROTECTION

A.C. 28-104.8.4  
 BUILDING CONTAINS NO DWELLING UNITS THAT WILL REMAIN OCCUPIED DURING THE CONSTRUCTION PROCESS THEREFORE NO TENANT PROTECTION PLAN IS REQUIRED.

GENERAL CONTRACTOR SHALL PROTECT RETAIL TENANT ON FIRST FLOOR THROUGHOUT ALL PHASES OF WORK.

**ROOF DECK REMOVAL NOTE:**  
 EXISTING ROOF DECK TO BE COMPLETELY REMOVED. SCOPE OF WORK SHALL INCLUDE: CHAIN LINK RAILINGS, METAL LADDERS, WOOD BENCH, WOOD DECKING AND ALL RELATED FRAMING, METAL GUTTERS, ALL ROOFING MATERIALS, PITCHED ROOF ASSEMBLY TO INCLUDE WOOD FRAMING, BRACE ALL REMAINING PERIMETER MASONRY WALLS AS REQUIRED.

PROVIDE PROTECTION FOR ALL WINDOWS ON ADJOINING PRIVATE PROPERTY THAT ARE 20 FEET OR LESS FROM AN UNENCLOSED PERIMETER. WHERE SAID WINDOW PROVIDES REQUIRED MEANS OF LIGHTING, VENTILATION OR EGRESS, SUCH PROTECTION SHALL NOT BE ALLOWED TO INTERFERE WITH SUCH REQUIRED MEANS.

**GENERAL CONTRACTOR NOTES:**

- CONTRACTOR SHALL PROVIDE PROTECTION OF ALL EXTERIOR BUILDING CONDITIONS ON ADJACENT PROPERTY PRIOR TO DEMOLITION AND DURING ALL PHASES OF CONSTRUCTION.
- CONTRACTOR / OWNER SHALL OBTAIN ACCESS AGREEMENT FROM ADJACENT PROPERTY OWNER FOR ALL WORK NECESSARY BEYOND THE PROPERTY LINE OF THE PROJECT SITE.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DEPARTMENT OF BUILDINGS OF ANY DAMAGE CAUSED TO THE ADJOINING PROPERTY DURING THE DEMOLITION OR CONSTRUCTION PROCESS.
- ANY AND ALL STRUCTURAL NETTING USED TO PROTECT THE ADJOINING PROPERTY SHALL COMPLY WITH ANSI A10.11
- CONTRACTOR SHALL PROVIDE SHORING & BRACING TO EXISTING STRUCTURE DURING DEMOLITION. SEE STRUCTURAL DRAWINGS FOR EXTENT OF WORK.



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 EMAIL: STUDIO@GLA-ARCH.COM  
 WWW.GLA-ARCH.COM

REVISION	DATE	DESCRIPTION
1	10-27-17	ISSUED FOR FILING
2	12-20-17	ISSUED FOR PHASE ONE SCOPE
3	2-7-18	ISSUED FOR PAA
4	9-12-18	ISSUED FOR PHASE TWO SCOPE

**PROJECT:** 275 BLEECKER STREET  
 275 BLEECKER STREET  
 NEW YORK, NY 10014

**CLIENT:** WHARTON REALTY  
 500 FIFTH AVENUE, 54TH FLOOR  
 NEW YORK, NY 10110

**DRAWING TITLE:** PHASE TWO DEMOLITION ELEVATIONS: NORTH & EAST

**SCALE:** AS NOTED

**SEAL AND SIGNATURE:**

STEVEN GAMBINO, R.A.

THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHICH THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REPRODUCED, DISTRIBUTED OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF GAMBINO+LAPORTA ARCHITECTURE PC. COPYRIGHT 2018. G.L.A. ALL RIGHTS RESERVED. A.E.C.E. & I.E.

**DATE:** 12MARI18  
**PROJECT NO.:** GLA16-0447

**DRAWN BY:** MT  
**DESIGNER NO.:**

**CHECKED BY:** 56  
**DATE:**

**DRAWING NO.:** DM201.00  
**SHEET NO.:** 13 OF 46

1 TRANSVERSE DEMO SECTION  
 SCALE: 1/2" = 1'-0"

# TENANT PROTECTION

A.C. 28-104.8.4  
 BUILDING CONTAINS NO DWELLING UNITS THAT WILL REMAIN OCCUPIED DURING THE CONSTRUCTION PROCESS THEREFORE NO TENANT PROTECTION PLAN IS REQUIRED.

# REPAIR NOTES

**SAFE SUPPORT OF LOADS**  
 NEW FRAMING, INCLUDING ALL RELATED BRACES, SHORING, FRAMING AND AUXILIARY CONSTRUCTION, SHALL BE PROPORTIONED, ERECTED, SUPPORTED, BRACED AND MAINTAINED SO THAT IT WILL SAFELY SUPPORT ALL VERTICAL AND LATERAL LOADS THAT MIGHT BE APPLIED UNTIL SUCH LOADS CAN BE SUPPORTED BY THE PERMANENT CONSTRUCTION.

**VERTICAL AND LATERAL LOADS**  
 VERTICAL AND LATERAL LOADS SHALL BE CARRIED TO THE GROUND BY THE FRAMING AND REPAIR SYSTEM AND BY THE NEW FRAMING AFTER IT HAS ATTAINED ADEQUATE STRENGTH FOR THAT PURPOSE, OR BY EXISTING STRUCTURES, FRAMING AND NOGGING AND THEIR SUPPORTS SHALL BE DESIGNED SO AS NOT TO DAMAGE EXISTING OR NEWLY INSTALLED STRUCTURES.

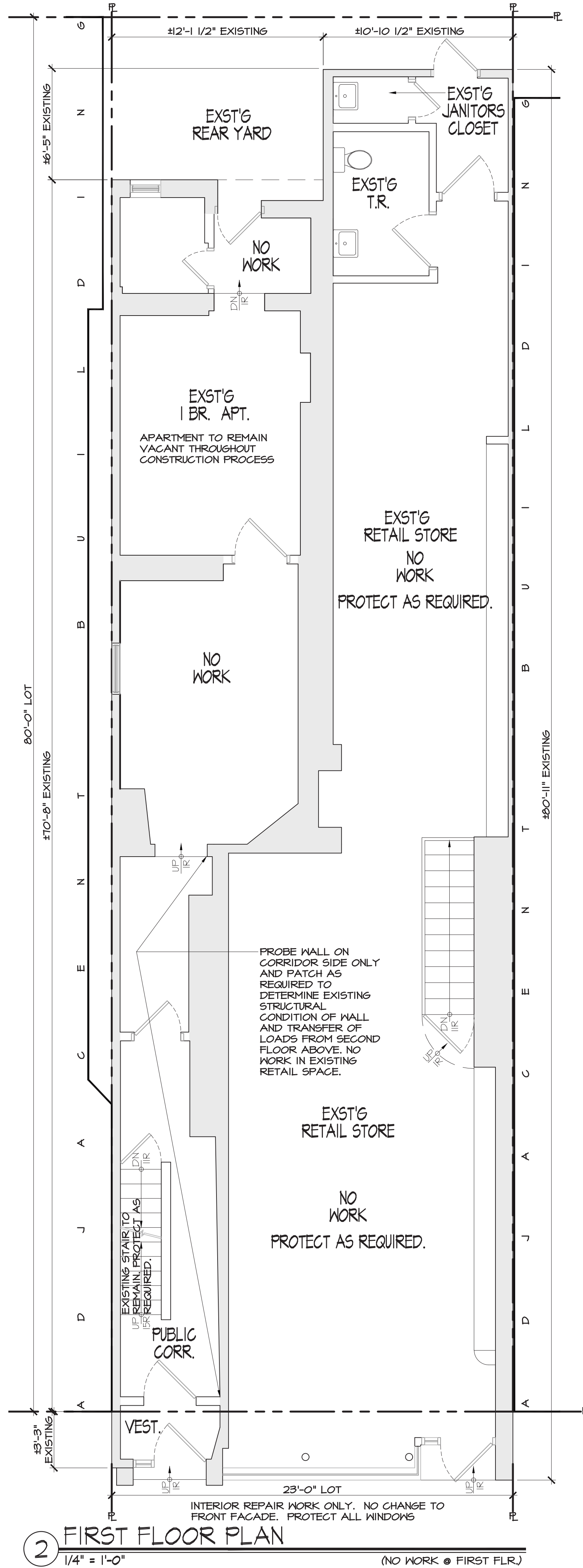
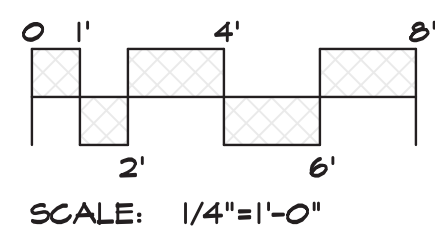
**TEMPORARY BRACING**  
 TEMPORARY BRACING SHALL BE PROVIDED TO SUPPORT ALL LOADS IMPOSED UPON THE FRAMEWORK DURING CONSTRUCTION THAT ARE IN EXCESS OF THOSE FOR WHICH THE FRAMEWORK WAS DESIGNED.

**UNSAFE CONDITIONS**  
 ANY UNSAFE CONDITION OR NECESSARY ADJUSTMENT REVEALED BY INSPECTION SHALL BE REMEDIED IMMEDIATELY. IF DURING CONSTRUCTION, ANY WEAKNESS DEVELOPS AND THE EXISTING BUILDING FRAMING SHOWS ANY UNDUE SETTLEMENT OR DISTORTION, THE WORK SHALL BE STOPPED, THE AFFECTED CONSTRUCTION REMOVED IF PERMANENTLY DAMAGED, AND THE BUILDING STRUCTURE BRACED AND SUPPORTED.

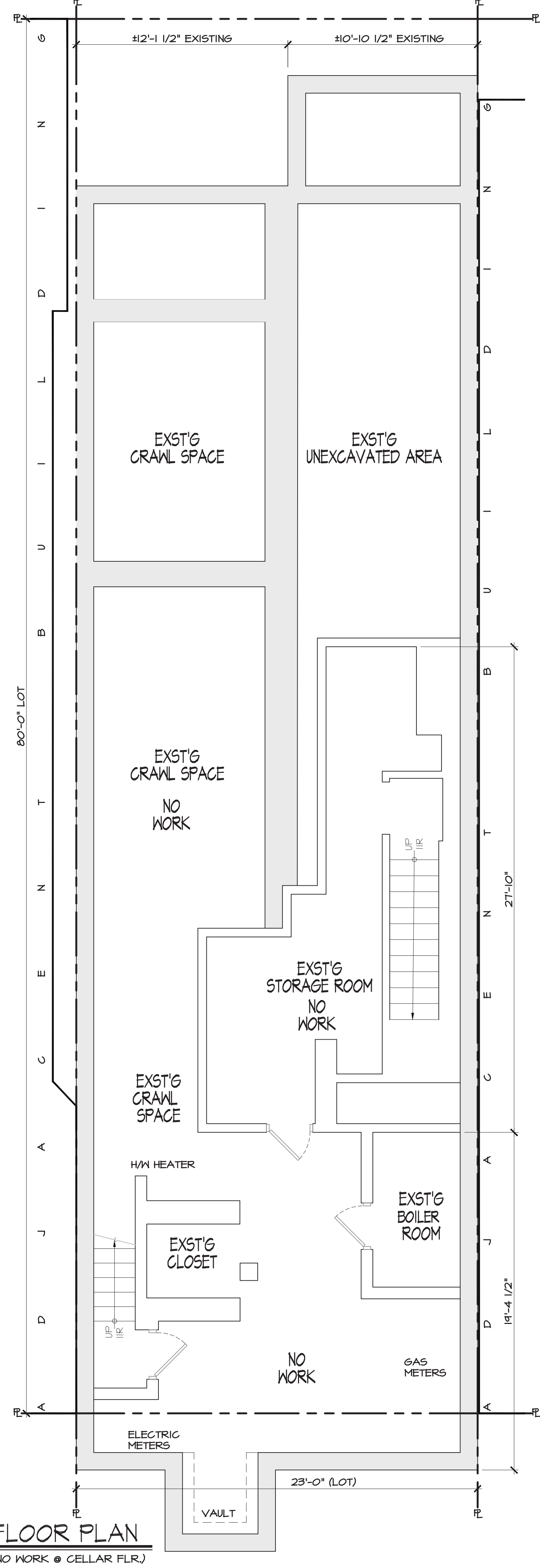
**ADJOINING WALLS**  
 MAINTAIN THE STRUCTURAL INTEGRITY OF SUCH WALLS AND ADJOINING STRUCTURE, AND HAVE A REGISTERED DESIGN PROFESSIONAL INVESTIGATE THE STABILITY AND CONDITION OF THE WALL AND ADJOINING STRUCTURE, AND TAKE ALL NECESSARY STEPS TO PROTECT SUCH WALL AND STRUCTURE.

# SEQUENCE OF OPERATIONS

1. SUPPORT ANY AND ALL STRUCTURAL / LOAD BEARING MEMBERS
2. REPAIR / REMOVE EXTERIOR WALLS
3. REMOVE AND REPLACE SUB-FLOOR AND FLOOR FRAMING



② FIRST FLOOR PLAN  
 1/4" = 1'-0" (NO WORK @ FIRST FLR.)



① CELLAR FLOOR PLAN  
 1/4" = 1'-0" (NO WORK @ CELLAR FLR.)



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 EMAIL: STUDIO@GL-ARCH.COM  
 WWW.GL-ARCH.COM

REV.	DATE	DESCRIPTION
1	10-27-17	ISSUED FOR FILING
2	12-20-17	ISSUED FOR PHASE ONE SCOPE
3	2-1-18	ISSUED FOR PMA
4	8-12-18	ISSUED FOR PHASE TWO SCOPE

**PROJECT FILE:**  
 215 BLEECKER STREET  
 BLOCK NO. 540  
 LOT NO. 10  
 NEW YORK, NY 10014

**CLIENT:**  
**WHARTON REALTY**  
 500 FIFTH AVENUE, 84TH FLOOR  
 NEW YORK, NY 10010

**DRAWING TITLE:**  
 CELLAR FLOOR #  
 FIRST FLOOR PLAN  
 SCALE: AS NOTED

**SEAL AND SIGNATURE**

STEVEN GAMBINO, R.A.  
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DATE: 12MARI8 PROJECT NO.: 6LA16-0441  
 DRAWN BY: MT REVISION NO.:  
 CHECKED BY: SG  
 DRAWING NO.: A100.00  
 SHEET NO.: 14 OF 46

# TENANT PROTECTION

A.C. 28-104.2.4  
 BUILDING CONTAINS NO DWELLING UNITS THAT WILL REMAIN OCCUPIED DURING THE CONSTRUCTION PROCESS THEREFORE NO TENANT PROTECTION PLAN IS REQUIRED.

## REPAIR NOTES

**SAFE SUPPORT OF LOADS**  
 NEW FRAMING, INCLUDING ALL RELATED BRACES, SHORING, FRAMING AND AUXILIARY CONSTRUCTION, SHALL BE PROPORTIONED, ERECTED, SUPPORTED, BRACED AND MAINTAINED SO THAT IT WILL SAFELY SUPPORT ALL VERTICAL AND LATERAL LOADS THAT MIGHT BE APPLIED UNTIL SUCH LOADS CAN BE SUPPORTED BY THE PERMANENT CONSTRUCTION.

**VERTICAL AND LATERAL LOADS**  
 VERTICAL AND LATERAL LOADS SHALL BE CARRIED TO THE GROUND BY THE FRAMING AND REPAIR SYSTEM AND BY THE NEW FRAMING AFTER IT HAS ATTAINED ADEQUATE STRENGTH FOR THAT PURPOSE, OR BY EXISTING STRUCTURES, FRAMING AND NOGGING AND THEIR SUPPORTS SHALL BE DESIGNED SO AS NOT TO DAMAGE EXISTING OR NEWLY INSTALLED STRUCTURES.

**TEMPORARY BRACING**  
 TEMPORARY BRACING SHALL BE PROVIDED TO SUPPORT ALL LOADS IMPOSED UPON THE FRAMEWORK DURING CONSTRUCTION THAT ARE IN EXCESS OF THOSE FOR WHICH THE FRAMEWORK WAS DESIGNED.

**UNSAFE CONDITIONS**  
 ANY UNSAFE CONDITION OR NECESSARY ADJUSTMENT REVEALED BY INSPECTION SHALL BE REMEDIATED IMMEDIATELY IF DURING CONSTRUCTION, ANY WEAKNESS DEVELOPS AND THE EXISTING BUILDING FRAMING SHOWS ANY UNDESIRED SETTLEMENT OR DISTORTION, THE WORK SHALL BE STOPPED, THE AFFECTED CONSTRUCTION REMOVED IF PERMANENTLY DAMAGED, AND THE BUILDING STRUCTURE BRACED AND SUPPORTED.

**ADJOINING WALLS**  
 MAINTAIN THE STRUCTURAL INTEGRITY OF SUCH WALLS AND ADJOINING STRUCTURE, AND HAVE A REGISTERED DESIGN PROFESSIONAL INVESTIGATE THE STABILITY AND CONDITION OF THE WALL AND ADJOINING STRUCTURE, AND TAKE ALL NECESSARY STEPS TO PROTECT SUCH WALL AND STRUCTURE.

## SEQUENCE OF OPERATIONS

- SUPPORT ANY AND ALL STRUCTURAL / LOAD BEARING MEMBERS
- REPAIR / REMOVE EXTERIOR WALLS
- REMOVE AND REPLACE SUB-FLOOR AND FLOOR FRAMING

## LEGEND

**TEMPORARY BRACING:**  
 2"x4" MD. FRAME, TOP & BOTTOM PLATE, STUDS @ 16" O/C FROM TOP OF SUB-FLOOR TO EXISTING JOIST ABOVE, SHIM AS REQ'D.

EXISTING WOOD FRAMING TO BE REMOVED TO ACCOMMODATE INSTALLATION OF NEW FRAMING.

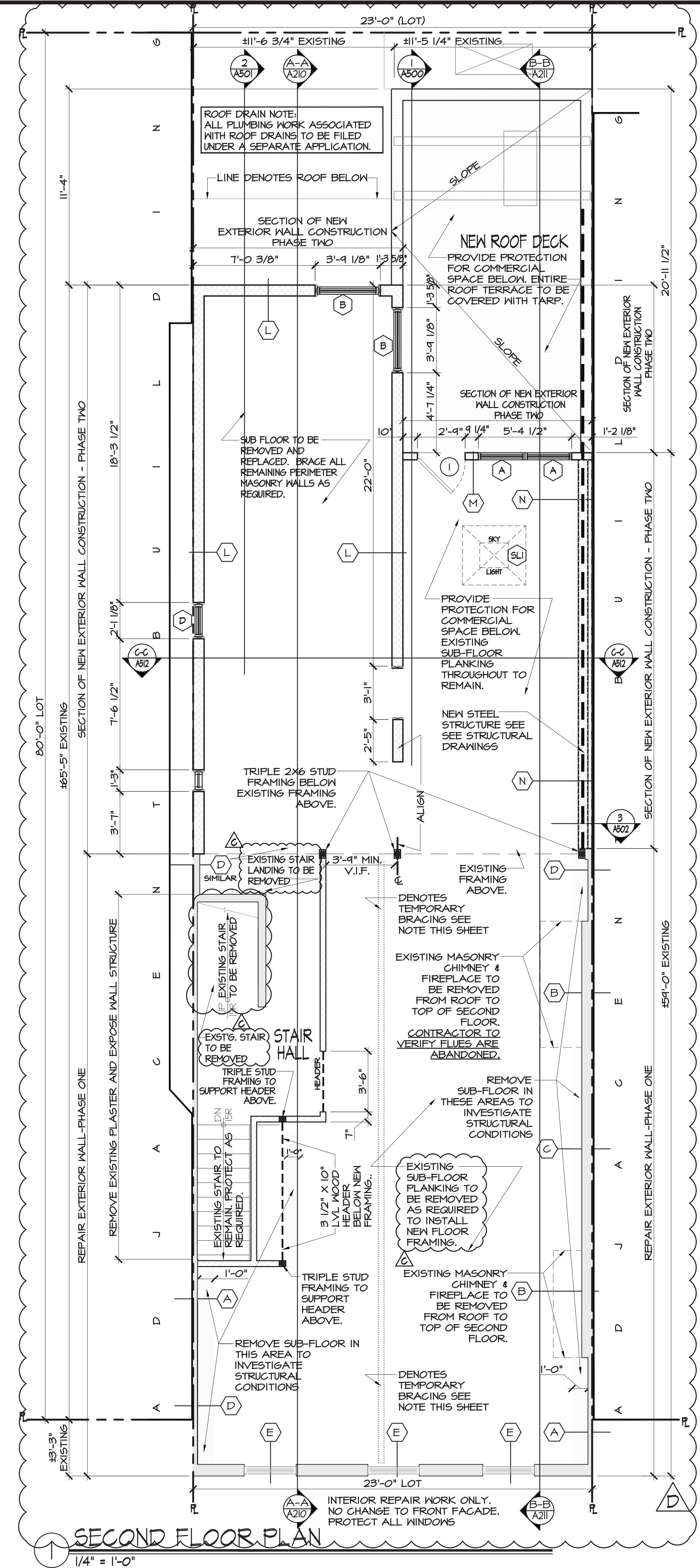
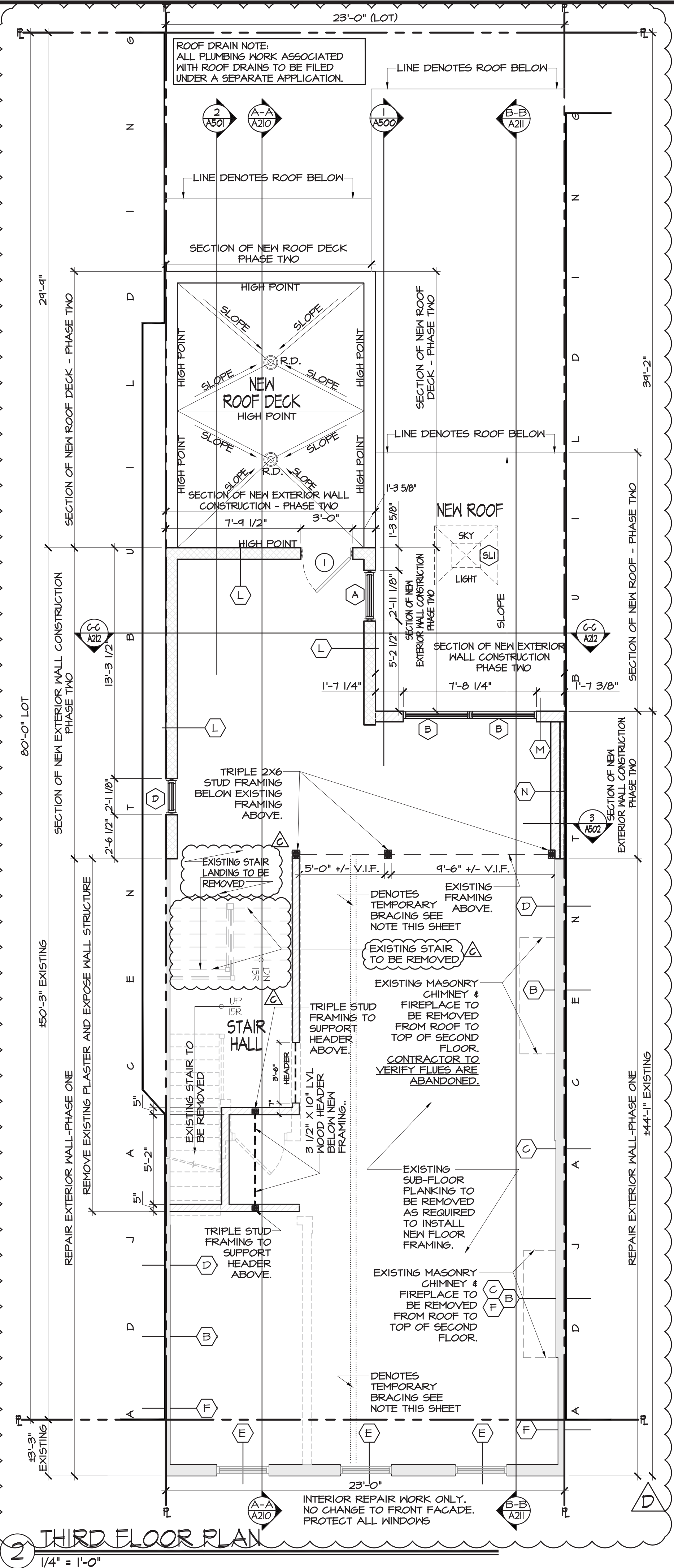
NEW WALL FRAMING "TYPE A". SEE DETAIL THIS SHEET

NEW WALL FRAMING "TYPE B". SEE DETAIL THIS SHEET

EXISTING WOOD FRAMED WALLS WITH MASONRY NOGGING TO BE REPAIRED AND/OR EXISTING FRAMING TO REMAIN.

TAG INDICATES REPAIR DETAILS AS FOLLOWS:  
 TAG "A": DRAWINGS 1-2/A-610  
 TAG "B": DRAWINGS 1-2/A-611  
 TAG "C": DRAWINGS 1-2/A-612  
 TAG "D": DRAWINGS 1-2/A-613  
 TAG "E": DRAWINGS 1-2/A-614  
 TAG "F": DRAWINGS 1-2/A-615  
 TAG "G": DRAWINGS 1-2/A-616  
 TAG "H": DRAWINGS 1-2/A-617  
 TAG "I": DRAWINGS 1-2/A-618  
 TAG "J": DRAWINGS 1-2/A-619

DENOTES ROOF DRAIN LOCATION. ALL PLUMBING WORK ASSOCIATED WITH ROOF DRAINS TO BE FILED UNDER SEPARATE APPLICATION



**GAMBINO + LAPORTA ARCHITECTURE, PC**  
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 EMAIL: STUDIO@GL-ARCH.COM  
 WWW.GL-ARCH.COM

REVISION	DATE	DESCRIPTION
1	10-27-17	ISSUED FOR PERMITS
2	12-20-17	ISSUED FOR PHASE ONE SCOPE
3	2-7-18	ISSUED FOR PHASE TWO SCOPE
4	3-12-18	ISSUED FOR PHASE TWO SCOPE

**PROJECT TITLE:** 275 BLEECKER STREET  
 BLOCK NO. 540  
 LOT NO. 10  
 275 BLEECKER STREET  
 NEW YORK, NY 10014

**CLIENT:** WHARTON REALTY  
 500 FIFTH AVENUE, 54TH FLOOR  
 NEW YORK, NY 10110

**PHASE TWO SECOND FLOOR & THIRD FLOOR PLAN**  
 SCALE: AS NOTED

**SEAL AND SIGNATURE**

STEVEN GAMBINO, P.E.  
 PROJECT NO: GLA16-0447  
 DRAWN BY: MT  
 CHECKED BY: SC  
 DATE: 12MAR18  
 SHEET NO: 15 OF 46



TENANT PROTECTION

A.C. 28-104.8.4  
 BUILDING CONTAINS NO DWELLING UNITS THAT WILL REMAIN DURING THE CONSTRUCTION PROCESS THEREFORE NO TENANT PROTECTION PLAN IS REQUIRED.

REPAIR NOTES

SAFE SUPPORT OF LOADS  
 NEW FRAMING, INCLUDING ALL RELATED BRACES, SHORING, FRAMING AND AUXILIARY CONSTRUCTION, SHALL BE PROPORTIONED, ERECTED, SUPPORTED, BRACED AND MAINTAINED SO THAT IT WILL SAFELY SUPPORT ALL VERTICAL AND LATERAL LOADS THAT MIGHT BE APPLIED UNTIL SUCH LOADS CAN BE SUPPORTED BY THE PERMANENT CONSTRUCTION.

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ADJOINING WALLS  
 MAINTAIN THE STRUCTURAL INTEGRITY OF SUCH WALLS AND ADJOINING STRUCTURE AND HAVE A REGISTERED DESIGN PROFESSIONAL INVESTIGATE THE STABILITY AND CONDITION OF THE WALL AND ADJOINING STRUCTURE, AND TAKE ALL NECESSARY STEPS TO PROTECT SUCH WALL AND STRUCTURE.

SEQUENCE OF OPERATIONS

- 1. SUPPORT ANY AND ALL STRUCTURAL / LOAD BEARING MEMBERS
- 2. REPAIR / REMOVE EXTERIOR WALLS
- 3. REMOVE AND REPLACE SUB-FLOOR AND FLOOR FRAMING

LEGEND

**TEMPORARY BRACING:**  
 2"x4" WD. FRAME, TOP & BOTTOM PLATE, STUDS @ 16" o/c FROM TOP OF SUB-FLOOR TO EXISTING JOIST ABOVE, SHIM AS REQ'D.

**EXISTING WOOD FRAMING TO BE REMOVED TO ACCOMMODATE INSTALLATION OF NEW FRAMING.**

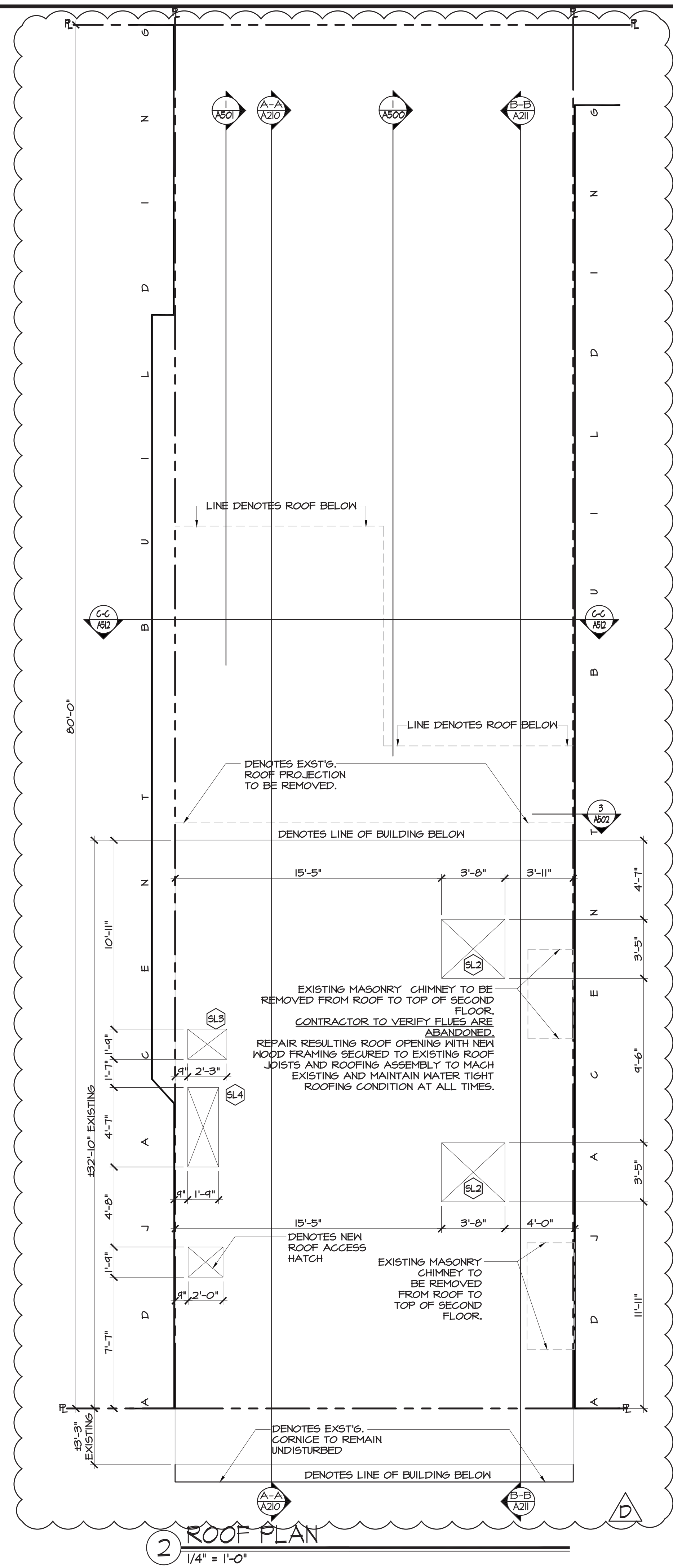
**NEW WALL FRAMING "TYPE A".**  
 SEE DETAIL THIS SHEET

**NEW WALL FRAMING "TYPE B".**  
 SEE DETAIL THIS SHEET

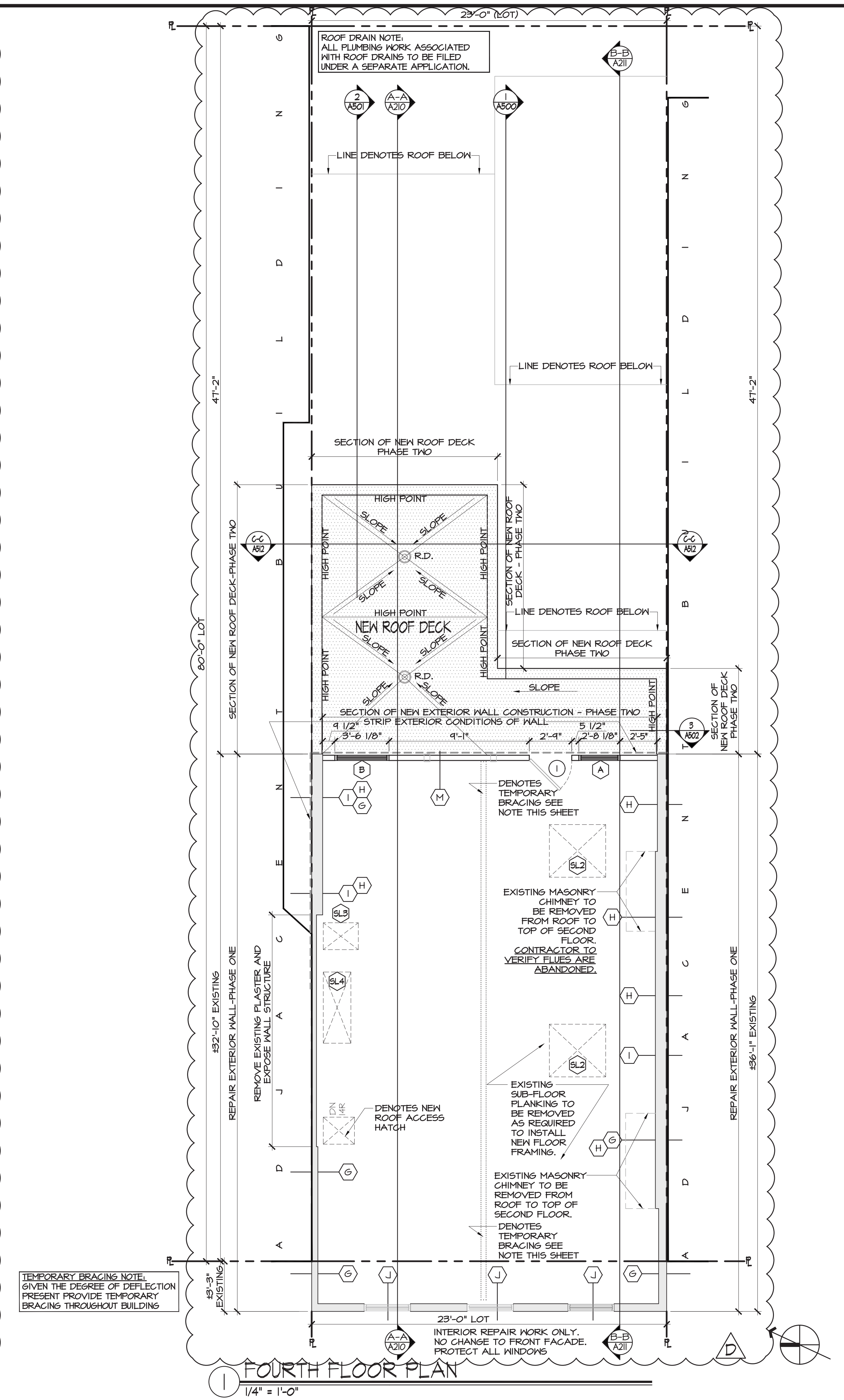
**EXISTING WOOD FRAMED WALLS WITH MASONRY NOGGING TO BE REPAIRED AND/OR EXISTING FRAMING TO REMAIN.**

**TAG INDICATES REPAIR DETAILS AS FOLLOWS:**  
 TAG "A": DRAWINGS 1-2/A-610  
 TAG "B": DRAWINGS 1-2/A-611  
 TAG "C": DRAWINGS 1-2/A-612  
 TAG "D": DRAWINGS 1-2/A-613  
 TAG "E": DRAWINGS 1-2/A-614  
 TAG "F": DRAWINGS 1-2/A-615  
 TAG "G": DRAWINGS 1-2/A-616  
 TAG "H": DRAWINGS 1-2/A-617  
 TAG "I": DRAWINGS 1-2/A-618  
 TAG "J": DRAWINGS 1-2/A-619

**DENOTES ROOF DRAIN LOCATION.**  
 ALL PLUMBING WORK ASSOCIATED WITH ROOF DRAINS TO BE FILED UNDER SEPARATE APPLICATION



② ROOF PLAN  
 1/4" = 1'-0"



① FOURTH FLOOR PLAN  
 1/4" = 1'-0"

**GAMBINO + LAPORTA**  
**ARCHITECTURE, PC**  
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 EMAIL: STUDIO@GLARCH.COM  
 WWW.GLARCH.COM

NO.	DATE	DESCRIPTION
1	02-27-17	ISSUED FOR PERMITS
2	03-03-17	ISSUED FOR PHASE ONE SCOPE
3	03-07-17	ISSUED FOR PHASE TWO SCOPE
4	03-12-17	ISSUED FOR PHASE THREE SCOPE

PROJECT: 275 BLEECKER STREET  
 BLOCK NO. 590  
 LOT NO. 10  
 275 BLEECKER STREET  
 NEW YORK, NY 10014  
 CLIENT: WHARTON REALTY  
 500 FIFTH AVENUE 54TH FLOOR  
 NEW YORK, NY 10110

PHASE TWO  
 FOURTH FLOOR & ROOF PLAN  
 SCALE: AS NOTED

SEAL AND SIGNATURE

STEVEN GAMBINO, R.A.

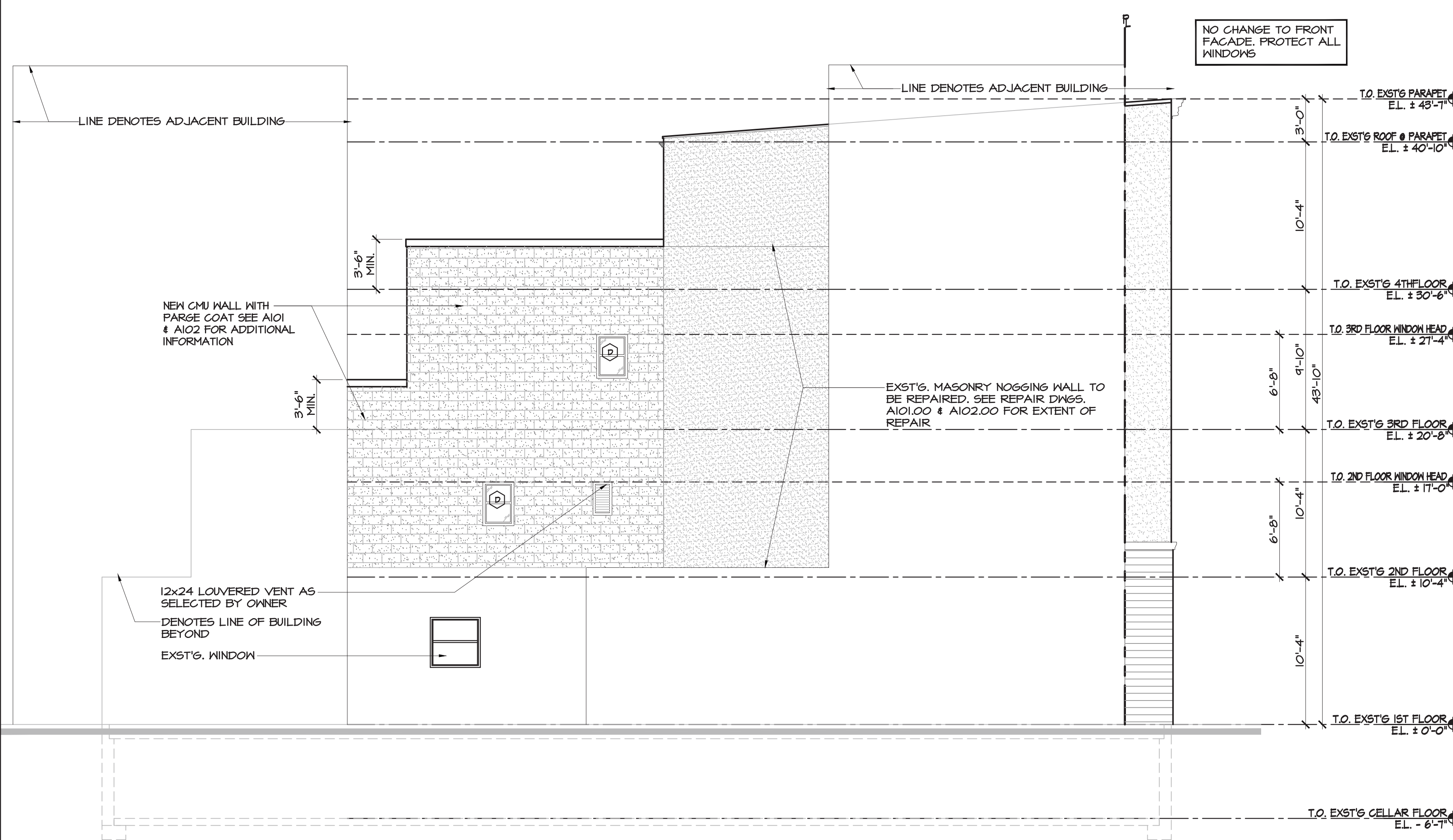
DATE: 02-27-17 PROJECT NO: GLA16-0447  
 DRAWN BY: TMMARLB REVISED BY:  
 CHECKED BY: MT  
 DRAWING NO: 56 SHEET NO: 16 OF 46

A102.02

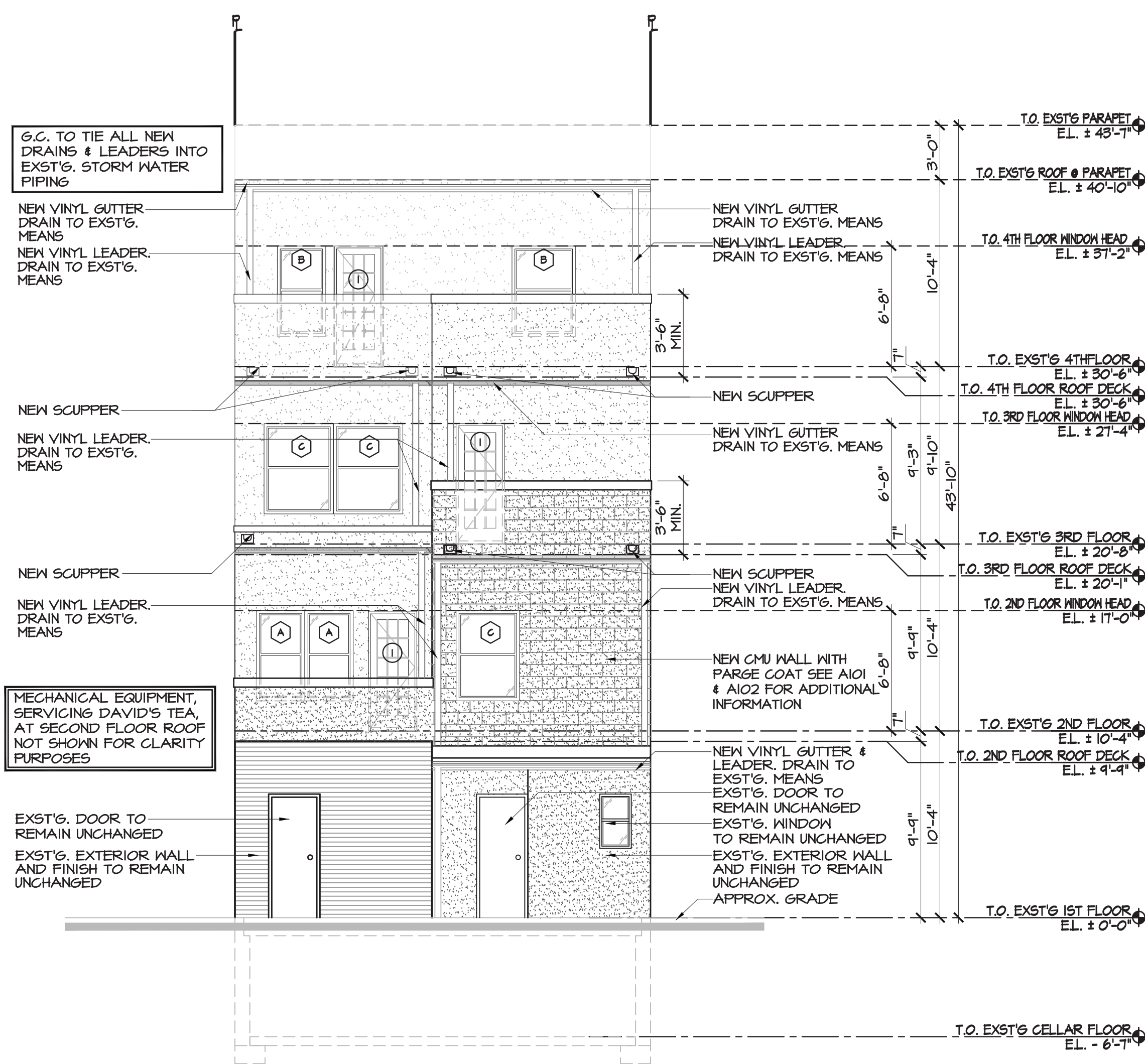
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**GAMBINO + LAPORTA**  
**ARCHITECTURE, PC**  
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 EMAIL: STUDIO@GLA-ARCH.COM  
 WWW.GLA-ARCH.COM



**② SIDE ELEVATION**  
 SCALE: 3/16" = 1'-0"  
 (NORTH ELEVATION)



**① REAR ELEVATION**  
 SCALE: 3/16" = 1'-0"  
 (EAST ELEVATION)

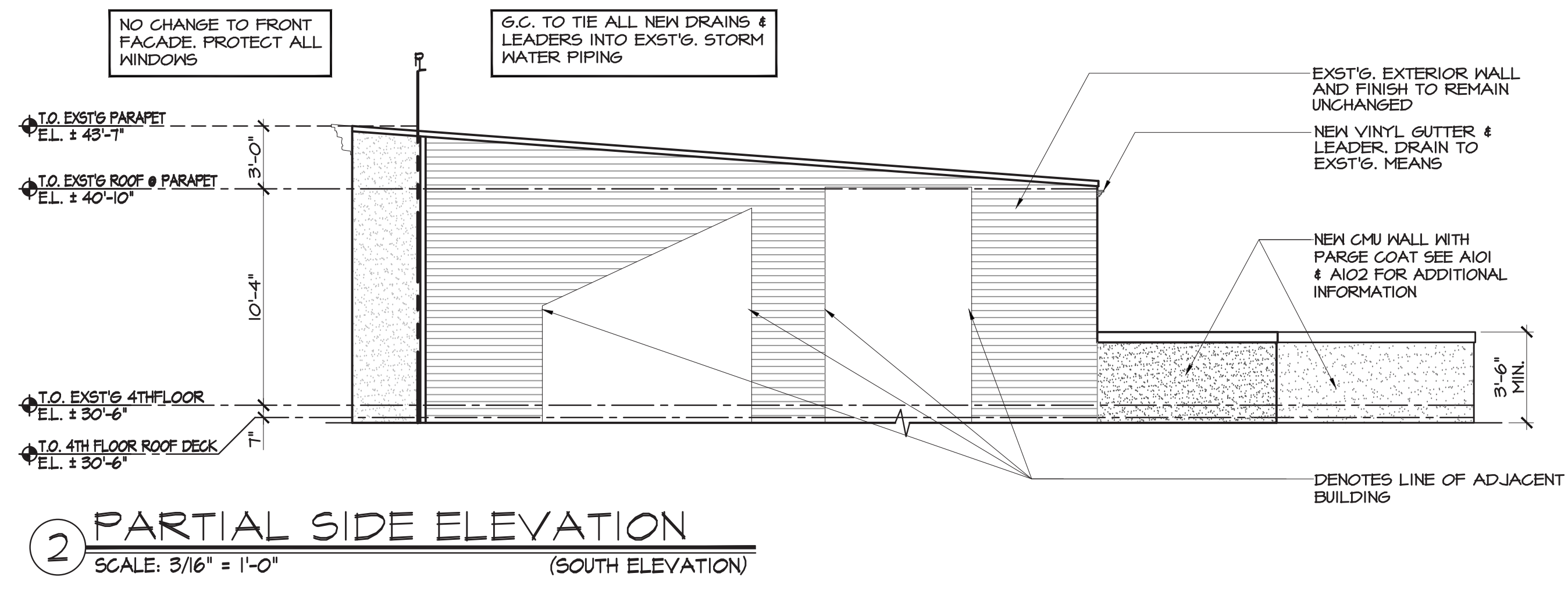
REVISIONS	DATE	DESCRIPTION
1	10-27-17	ISSUED FOR PERMITS
2	12-20-17	ISSUED FOR PHASE ONE SCOPE
3	2-7-18	ISSUED FOR P.A.A.
4	9-12-18	ISSUED FOR PHASE TWO SCOPE

PROJECT FILE: 275 BLEEKER STREET  
 BLOCK NO. 590  
 LOT NO. 10  
 CLIENT: WHARTON REALTY  
 500 FIFTH AVENUE, 54TH FLOOR  
 NEW YORK, NY 10110

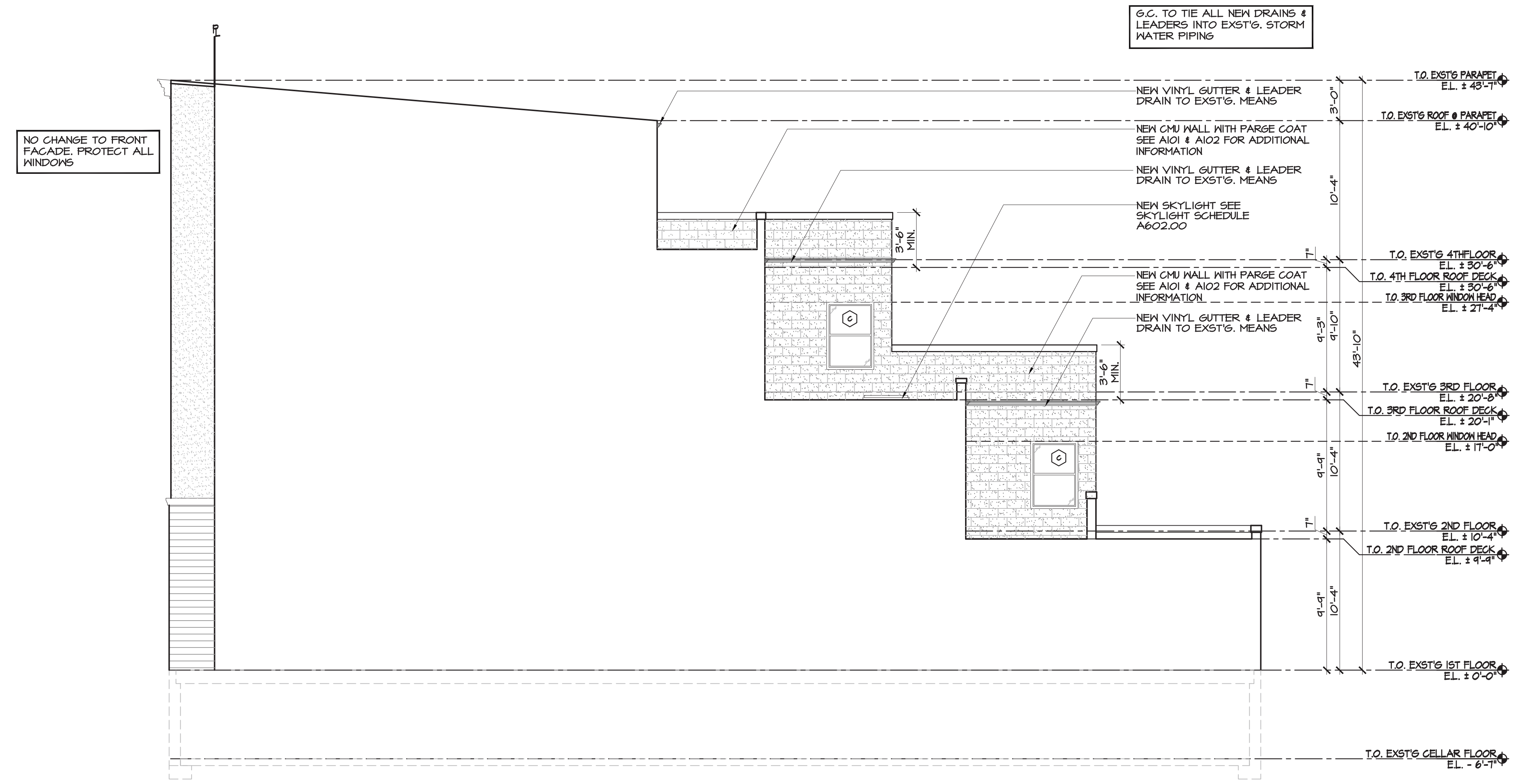
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**② PARTIAL SIDE ELEVATION**  
SCALE: 3/16" = 1'-0"  
(SOUTH ELEVATION)



**① SIDE ELEVATION**  
SCALE: 3/16" = 1'-0"  
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3	2-27-18	ISSUED FOR P.A.A.
4	9-12-18	ISSUED FOR PHASE TWO SCOPE

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LOT NO. 10  
NEW YORK, NY 10014

**CLIENT:** WHARTON REALTY  
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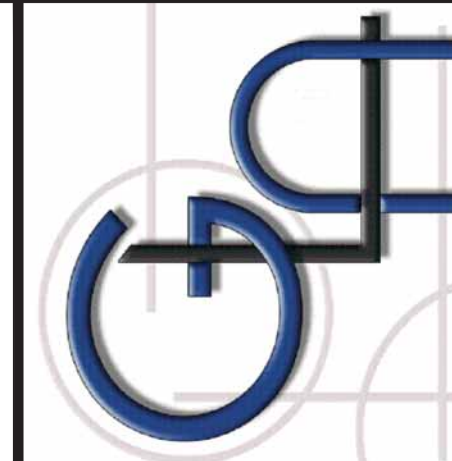
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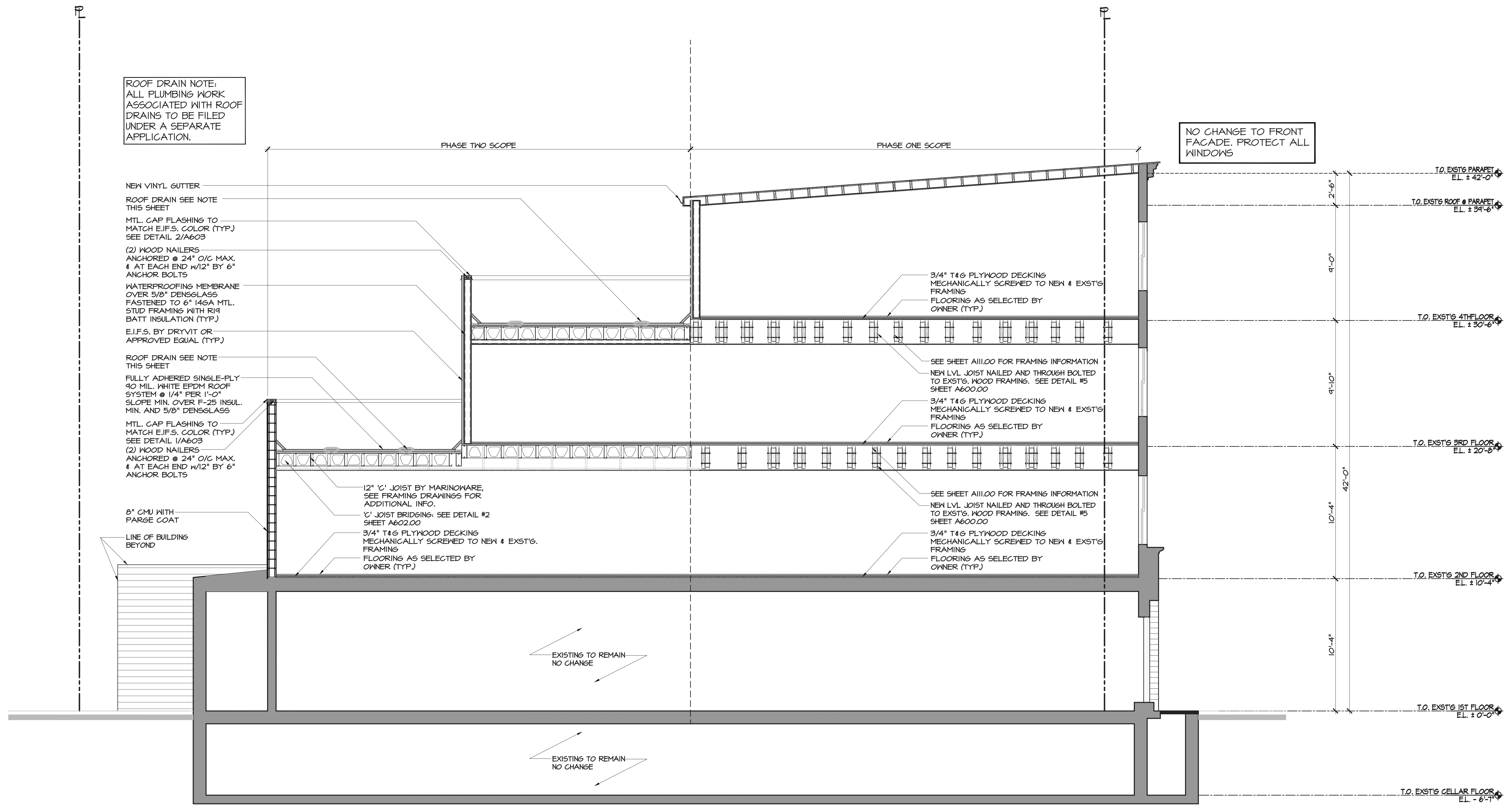
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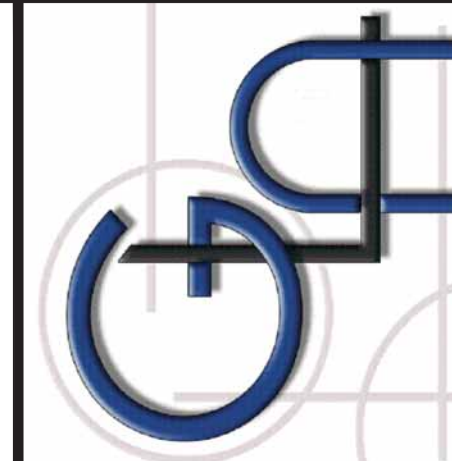
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 275 BLEECKER STREET  
 NEW YORK, NY 10014  
 BLOCK NO. 590  
 LOT NO. 10  
 CLIENT: WHARTON REALTY  
 500 FIFTH AVENUE, 54TH FLOOR  
 NEW YORK, NY 10110

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 LONGITUDINAL SECTION A-A  
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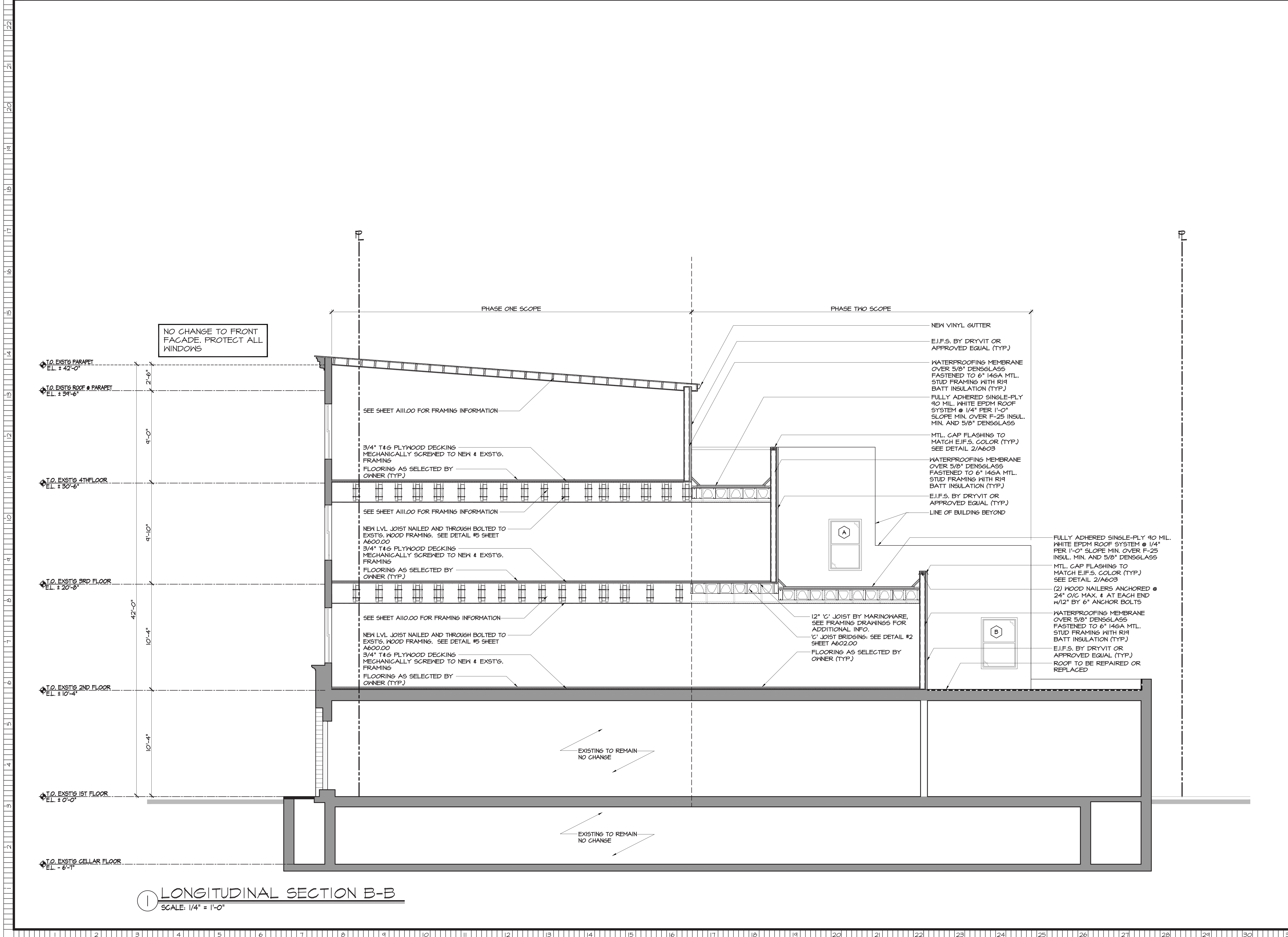
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① **LONGITUDINAL SECTION B-B**  
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3	2-28-18	ISSUED FOR P.A.A.
4	9-12-18	ISSUED FOR PHASE TWO SCOPE

PROJECT TITLE	275 BLEEKER STREET
BLOCK NO.	590
LOT NO.	10
CLIENT	WHARTON REALTY
ADDRESS	500 FIFTH AVENUE 54TH FLOOR NEW YORK, NY 10110

DRAWING TITLE:  
**PHASE TWO**  
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 LONGITUDINAL SECTION B-B  
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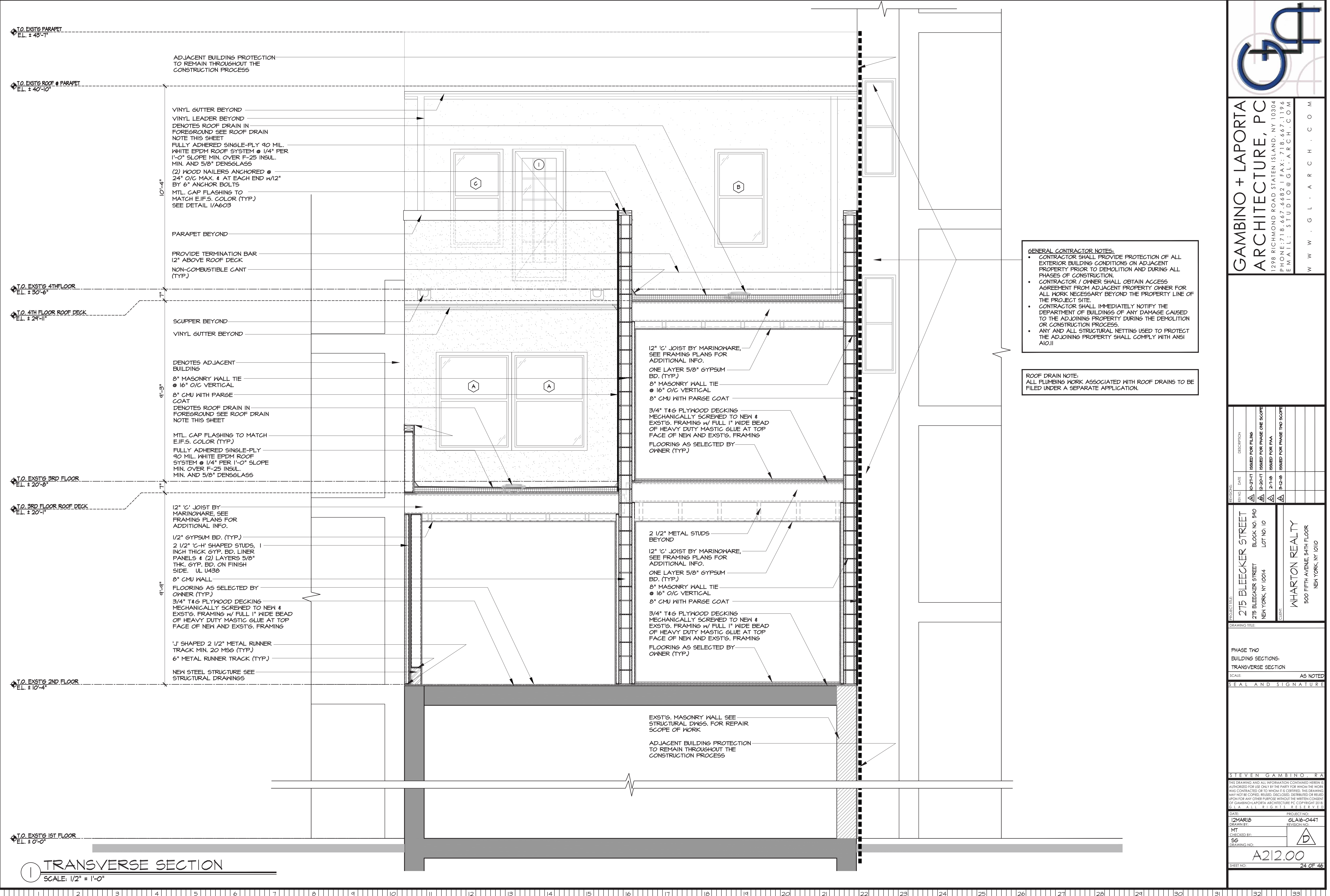


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- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DEPARTMENT OF BUILDINGS OF ANY DAMAGE CAUSED TO THE ADJOINING PROPERTY DURING THE DEMOLITION OR CONSTRUCTION PROCESS.
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ADJACENT BUILDING PROTECTION TO REMAIN THROUGHOUT THE CONSTRUCTION PROCESS

VINYL GUTTER BEYOND  
 VINYL LEADER BEYOND  
 DENOTES ROOF DRAIN IN FOREGROUND SEE ROOF DRAIN NOTE THIS SHEET  
 FULLY ADHERED SINGLE-PLY 90 MIL. WHITE EPDM ROOF SYSTEM @ 1/4" PER 1'-0" SLOPE MIN. OVER F-25 INSUL. MIN. AND 5/8" DENSGLASS  
 (2) WOOD NAILERS ANCHORED @ 24" O/C MAX. & AT EACH END W/12" BY 6" ANCHOR BOLTS  
 MTL. CAP FLASHING TO MATCH E.I.F.S. COLOR (TYP.) SEE DETAIL 1/A603

PARAPET BEYOND  
 PROVIDE TERMINATION BAR 12" ABOVE ROOF DECK  
 NON-COMBUSTIBLE CANT (TYP.)

SCUPPER BEYOND  
 VINYL GUTTER BEYOND

DENOTES ADJACENT BUILDING  
 8" MASONRY WALL TIE @ 16" O/C VERTICAL  
 8" CMU WITH PARGE COAT  
 DENOTES ROOF DRAIN IN FOREGROUND SEE ROOF DRAIN NOTE THIS SHEET

MTL. CAP FLASHING TO MATCH E.I.F.S. COLOR (TYP.)  
 FULLY ADHERED SINGLE-PLY 90 MIL. WHITE EPDM ROOF SYSTEM @ 1/4" PER 1'-0" SLOPE MIN. OVER F-25 INSUL. MIN. AND 5/8" DENSGLASS

12" 'C' JOIST BY MARINOWARE, SEE FRAMING PLANS FOR ADDITIONAL INFO.  
 1/2" GYPSUM BD. (TYP.)  
 2 1/2" 'C'-H SHAPED STUDS, 1 INCH THICK GYP. BD. LINER PANELS & (2) LAYERS 5/8" THK. GYP. BD. ON FINISH SIDE. UL U438  
 8" CMU WALL  
 FLOORING AS SELECTED BY OWNER (TYP.)  
 3/4" T&G PLYWOOD DECKING MECHANICALLY SCREWNED TO NEW & EXST'G. FRAMING W/ FULL 1" WIDE BEAD OF HEAVY DUTY MASTIC GLUE AT TOP FACE OF NEW AND EXST'G. FRAMING

'J' SHAPED 2 1/2" METAL RUNNER TRACK MIN. 20 MSG (TYP.)  
 6" METAL RUNNER TRACK (TYP.)

NEW STEEL STRUCTURE SEE STRUCTURAL DRAWINGS

12" 'C' JOIST BY MARINOWARE, SEE FRAMING PLANS FOR ADDITIONAL INFO.  
 ONE LAYER 5/8" GYPSUM BD. (TYP.)  
 8" MASONRY WALL TIE @ 16" O/C VERTICAL  
 8" CMU WITH PARGE COAT

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 FLOORING AS SELECTED BY OWNER (TYP.)

2 1/2" METAL STUDS BEYOND  
 12" 'C' JOIST BY MARINOWARE, SEE FRAMING PLANS FOR ADDITIONAL INFO.  
 ONE LAYER 5/8" GYPSUM BD. (TYP.)  
 8" MASONRY WALL TIE @ 16" O/C VERTICAL  
 8" CMU WITH PARGE COAT

3/4" T&G PLYWOOD DECKING MECHANICALLY SCREWNED TO NEW & EXST'G. FRAMING W/ FULL 1" WIDE BEAD OF HEAVY DUTY MASTIC GLUE AT TOP FACE OF NEW AND EXST'G. FRAMING  
 FLOORING AS SELECTED BY OWNER (TYP.)

EXST'G. MASONRY WALL SEE STRUCTURAL DNGS. FOR REPAIR SCOPE OF WORK

ADJACENT BUILDING PROTECTION TO REMAIN THROUGHOUT THE CONSTRUCTION PROCESS

**TRANSVERSE SECTION**  
 SCALE: 1/2" = 1'-0"

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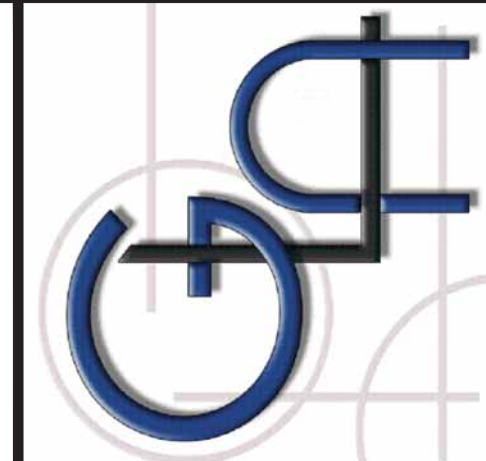
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**PHASE TWO**  
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 SCALE: AS NOTED

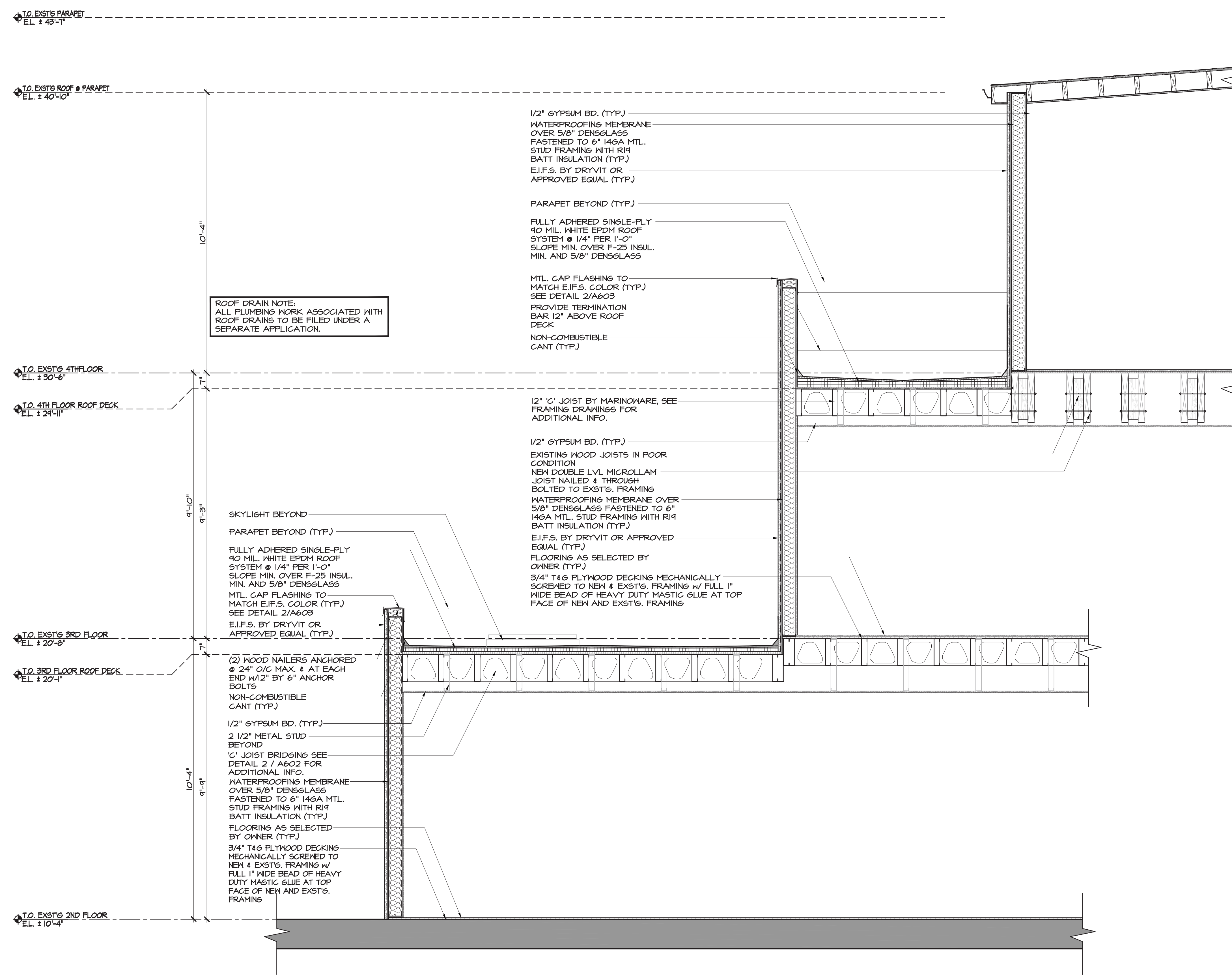
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**1 WALL SECTION I**  
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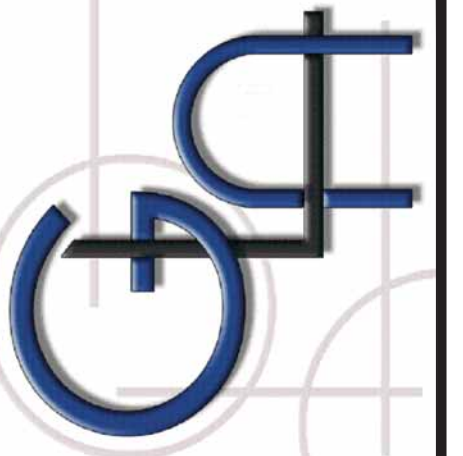
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 275 BLECKER STREET  
 NEW YORK, NY 10014

**CLIENT:**  
 WHARTON REALTY  
 500 FIFTH AVENUE, 54TH FLOOR  
 NEW YORK, NY 10110

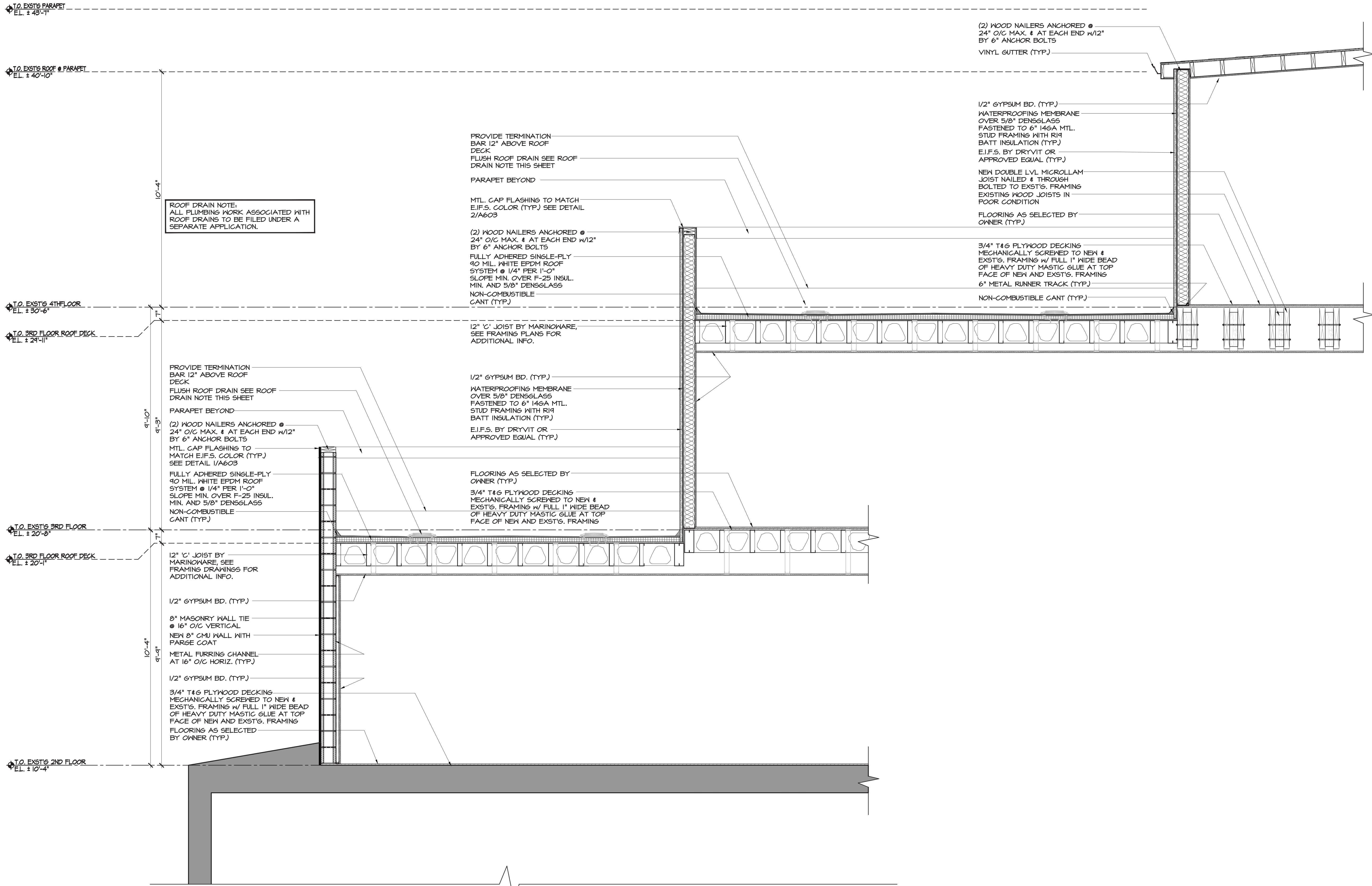
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275 BLEECKER STREET  
NEW YORK, NY 10014

**CLIENT:**  
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NEW YORK, NY 10110

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**BUILDING SECTIONS:**  
WALL SECTION 2

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# Structural Assessment Report

for

**275 Bleecker Street, New York, New York, 10014**

Prepared for:

**Wharton Realty  
500 5<sup>th</sup> Avenue  
54<sup>th</sup> Floor  
New York, NY 10110**

Prepared by:



139 Fulton Street, Suite 907,  
New York, NY 10038  
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[www.GRANTpllc.com](http://www.GRANTpllc.com)

April 10, 2018

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## 1.0 INTRODUCTION

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### 1.1 Scope of Work

On behalf of Mr. Eric Setton of Wharton Realty, (hereinafter referred to as the Client), GRANT engineering (GRANT) performed a field assessment and prepared a structural assessment report for the property located at 275 Bleecker Street, New York, NY 10014 (hereinafter referred to as the Site). The Site is located between Jones Street and Cornelia Street.

Existing conditions drawings, which includes the plans of the floors surveyed during this assessment as well as details regarding the area of concern, is included as an attachment to this report in **Appendix A**.

#### **Task 1 – Field Assessment**

*Structural Assessment:* GRANT performed an onsite visual assessment of the existing conditions, at the Site. The purpose was to determine the nature of the existing conditions, identify any structural issues or deficiencies with the building structure for all floors, including the cellar, and to identify any issues that need to be addressed for a DOB submission. The findings of the structural assessment can be found in this report below.

#### **Task 2– Structural Assessment Report and Recommendations**

This report constitutes a structural assessment report that includes details of findings and recommendations for work moving forward. The recommendations will be used as the basis of a scope of work for design of rehabilitation.

## 2.0 EXISTING BUILDING CONDITION SURVEY

---

### 2.1 Structural System

275 Bleecker Street is a mixed residential and commercial building located in the West Village neighborhood in Manhattan, NY. The building was built in 1920 and has 4 stories with 5 units total. The building is utilized as a residential and commercial building. The Site is identified as Block 590 Lot 10 with approximated 1840 sq ft of lot space. The first floor is currently being utilized as commercial unit. There is also an unoccupied residential apartment on the first floor. The second through fourth floors have been identified for renovation by the building owner. The cellar at the Site encompasses approximately half of the footprint of the building. The building is composed of multiple structural systems corresponding to distinct phases of the building's construction. The front half of the building is four stories of noggin wall construction—heavy timber wood frame infilled with clay masonry. The rear portion includes multiple additions, the first of which is three story masonry construction on the western half of the rear. The eastern portion of the rear is wood frame construction, comprising the first two floors.

The cellar consists of rock masonry foundation walls and slab on grade. The area was assessed for structural related issues including all floors, cellar and facades (hereinafter referred to as the Area of Concern, AOC).

The assessment was visual in nature, conducted using methods and procedures consistent with good commercial practices and designed to conform to acceptable industry standards. Independent conclusions are made based on professional judgment of existing conditions and on information available during the course of the assessment.

During the survey, the following rating system, based on the visual relative conditions of the structures and/or distress features, was implemented:

- Excellent – No visual distress features
- Good – Localized minor distress features (i.e. plaster cracks);
- Fair – Wide range of minor distress features;
- Poor - Wide range of major distress features, structural integrity not compromised;
- Very poor - Extensive distress features, structural integrity possibly compromised.

Where access was granted, the assessment covered interior walls, ceilings, floors, columns and slabs at cellar level within the AOC. The structural assessment did not include examining limited-visibility or limited-access areas or spaces, nor did it include any type of physical testing or investigation of building elements or subsurface conditions.

The layout of the building is presented in **Appendix A**. A photograph log is included in **Appendix B** which provides photographs and notes taken during the on-site surveys.

## **2.2 Envelope**

### **2.2.1 Front Façade**

During the field assessment, Grant identified minor distress in the front façade. The front façade is comprised of single wythe wide noggin wall with wood cladding and plaster stucco. The plaster stucco exhibits cracking in multiple locations. Any exterior work related to the front facade will be filed under a separate application to LPC. No work is scheduled for the front façade under this current application.

### **2.2.2 Rear Façade**

The rear façade is in poor condition overall. The eastern half of the rear façade is wood frame with vinyl siding. The vinyl siding is in poor condition and requires replacement. Multiple openings and leaks were observed. The western portion of the rear façade is masonry in poor condition. GRANT observed flaking of masonry mortar, missing and damaged brick, and bulging of masonry in multiple locations. The rear façade at the fourth floor is corrugated steel. The fourth-floor rear façade should be replaced and updated with modern cladding material.

### **2.2.3 East/West Façades**

The east façade is only visible at the front of the structure where it is proud of the neighboring building. This location is comprised of the same material as the front façade and exhibits similar stucco cracking in multiple locations. The remainder of the east façade of the front portion of the building exhibits large gaps where the two chimneys were removed, revealing the neighbor's masonry wall.

The west façade of the front portion of the structure is cladded with wood cladding exhibiting gaps and deterioration. The rear portion is masonry in poor condition. GRANT observed poor condition of mortar joints, missing or damaged brick and bulging in multiple locations. Bulging was not observed on the interior side of the west wall, indicating potential separation between wythes.

### **2.2.4 Roofs**

Roof membrane of the main roof was observed to be in good condition where observed. The rear of the structure is covered by three separate roofs. The third floor immediately adjacent to the main roof is covered in wood deck and was inaccessible. In the rear east portion of the structure leaks were observed in the corrugated roof. The remaining roof over the first floor in the eastern rear portion of the structure is in poor condition condition.

## **2.3 Interiors**

### **2.3.1 Cellar**

The cellar was observed to be in fair condition. Foundations walls do not exhibit cracking, movement or water damage. Slab on grade floors are in fair condition.

### 2.3.2 1<sup>st</sup> Floor

Assessment of the first floor was limited due to active use of the commercial space and limited access at first floor apartment.

### 2.3.3 2<sup>nd</sup>, 3<sup>rd</sup>, & 4<sup>th</sup> Floors

The front portion of the 2<sup>nd</sup> thru 4<sup>th</sup> floor was in consistent poor condition. Noggin wall exhibits large gaps in infill masonry, inconsistent or interrupted wood framing load paths, and wood joists in very poor condition exhibiting sagging over 2" and flexural or shear cracking.

The rear portion of the structure on the east side comprised of wood framing is in very poor condition and requires shoring. The floor/wall interface has separated at the third floor.

The rear portion of the structure on the west side comprised of masonry construction is in very poor condition. The floors are damaged, with large openings in the subfloor. The masonry walls are in very poor condition with large openings and gaps throughout. One rear window has collapsed into the building. Lintels are in poor condition or are missing over openings.

## 3.0 CONCLUSION AND RECOMMENDATIONS

### 3.1 Summary of Findings

Front Portion of Structure	
<b>Front Façade</b>	✚ Front façade requires restuccoing. Noggin wall should be repaired, strengthened, tied back into floor system.
<b>Rear Façade</b>	✚ 4 <sup>th</sup> Floor rear façade corrugated steel should be replaced with modern building material.
<b>East Façade</b>	✚ Requires restuccoing where proud of neighbor. ✚ Requires infill structure where gaps exist for removed chimney.
<b>West Façade</b>	✚ Cladding should be replaced
<b>Interior</b>	✚ Noggin walls should be repaired and retrofitted with new structure. ✚ Joists should be sistered or replaced.

Rear Portion of Structure	
<b>East Portion (cladding over framing)</b>	✚ Eastern portion should be demolished and replaced with a modern building material.
<b>West Portion (masonry)</b>	✚ Western portion should be demolished and rebuilt with CMU masonry.

### 3.2 Recommendations

Based on the observations made during the existing conditions assessment, GRANT recommends structural reconstruction, repairs and alterations corresponding to the listed deficiencies. The repairs and alterations should be performed within the space to ensure life safety and long-term performance of the building.

The front portion of the building comprised of noggin wall construction should be repaired and retrofitted to ensure proper structural performance and life safety. The rear portions of the building are in very poor condition and should be demolished and rebuilt with modern construction materials, including reinforced CMU on the western side and cold form steel framing on the eastern portion.

## 4.0 SIGNATURES

Generally accepted engineering practices were followed in the preparation of this report. No other warranty, expressed or implied is made. The recommendations and analysis presented in this report were based on the visual assessment performed at the site. Variations between the observed and actual site conditions may not become evident until construction has begun. It may be necessary to revise or reevaluate the recommendations of this report should extensive variations become evident.

Prepared by,  
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## 5.0 APPENDICES

5.1 Appendix A: Existing Conditions Plan

5.2 Appendix B: Photo Log

275 BLEECKER ST  
NEW YORK, NY

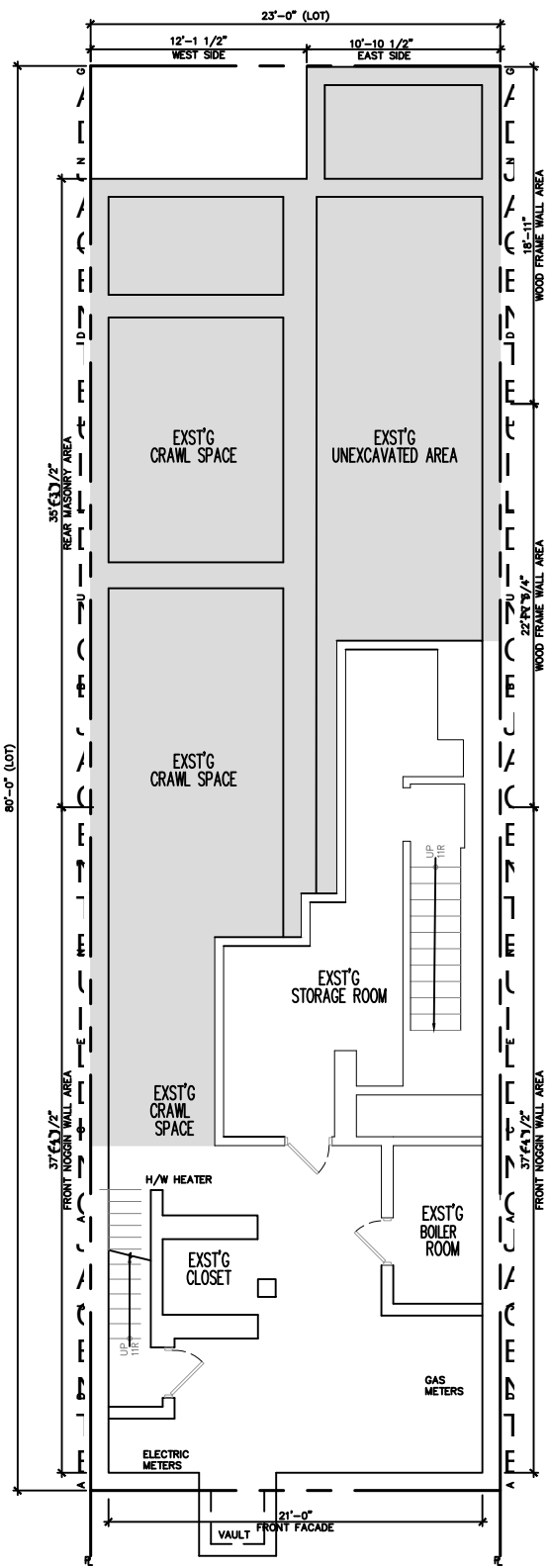
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500 5TH AVE, FL 5A  
NEW YORK, NY 10110

275 BLEECKER ST  
NEW YORK, NY

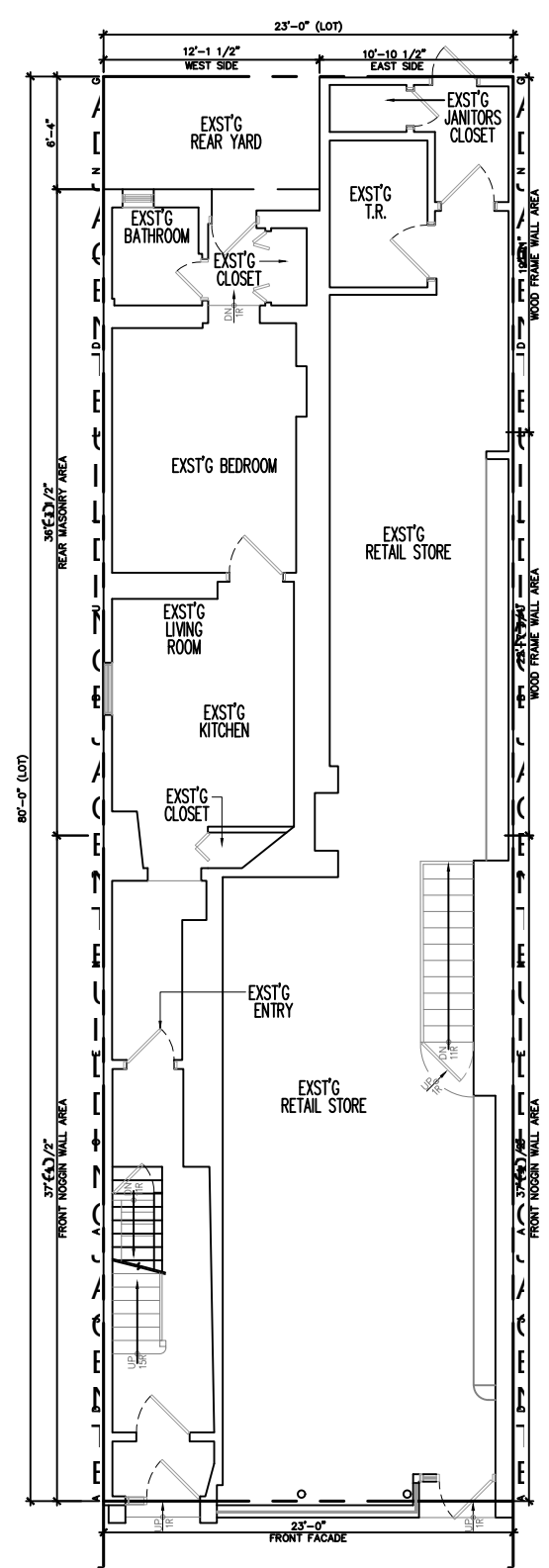
275 BLEECKER ST  
NEW YORK, NY

CELLAR FLOOR  
FIRST FLOOR

NO.	DATE	DESCRIPTION
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2	11/15/18	ISSUED FOR PERMITS
3	12/10/18	ISSUED FOR PERMITS
4	01/15/19	ISSUED FOR PERMITS
5	02/15/19	ISSUED FOR PERMITS
6	03/15/19	ISSUED FOR PERMITS
7	04/15/19	ISSUED FOR PERMITS
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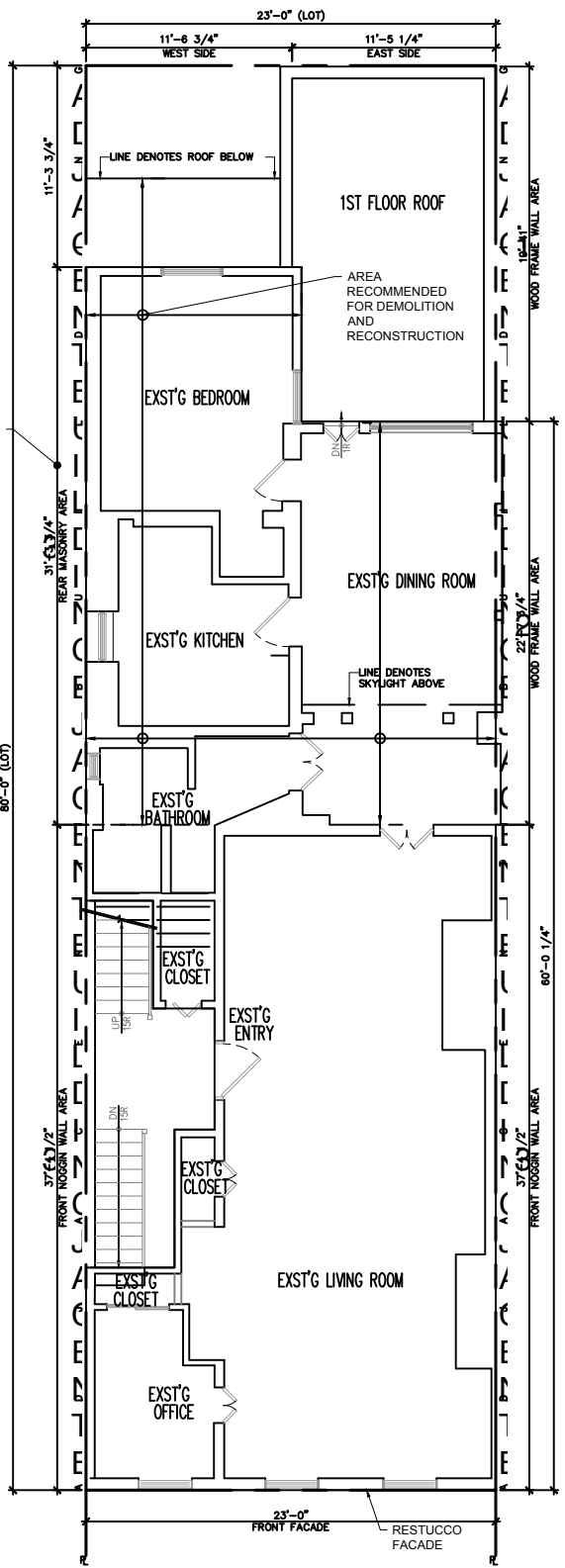
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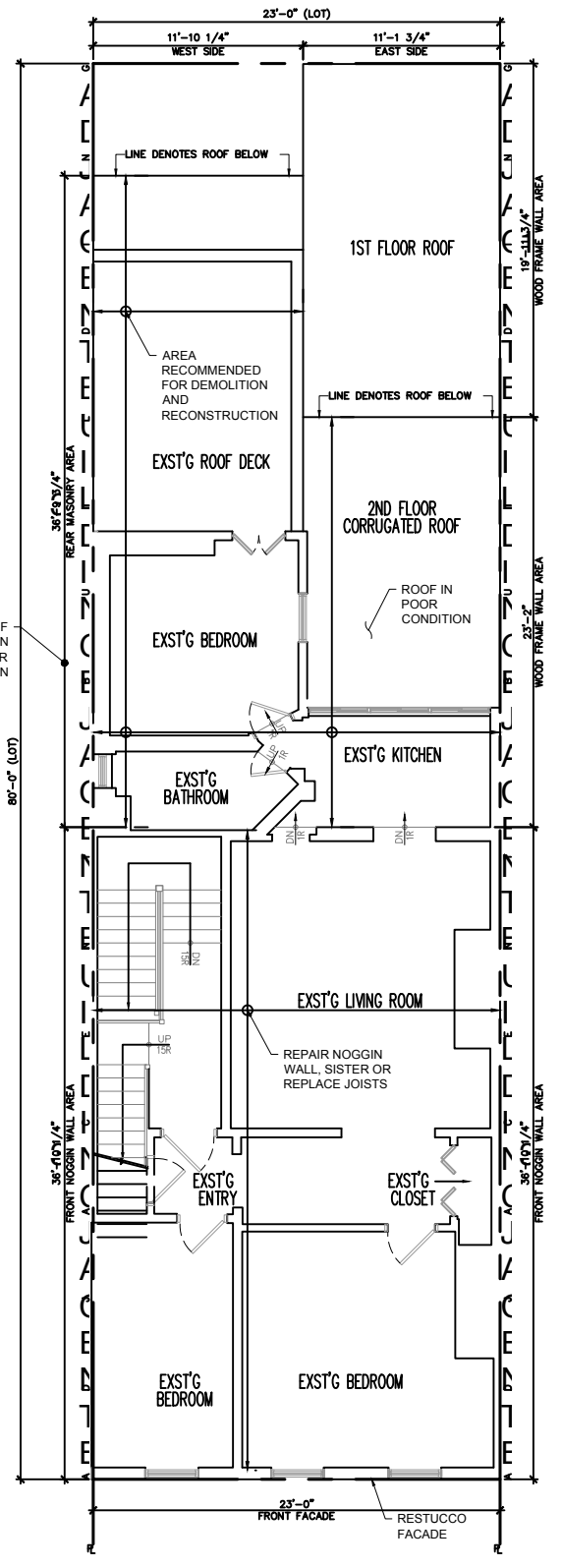
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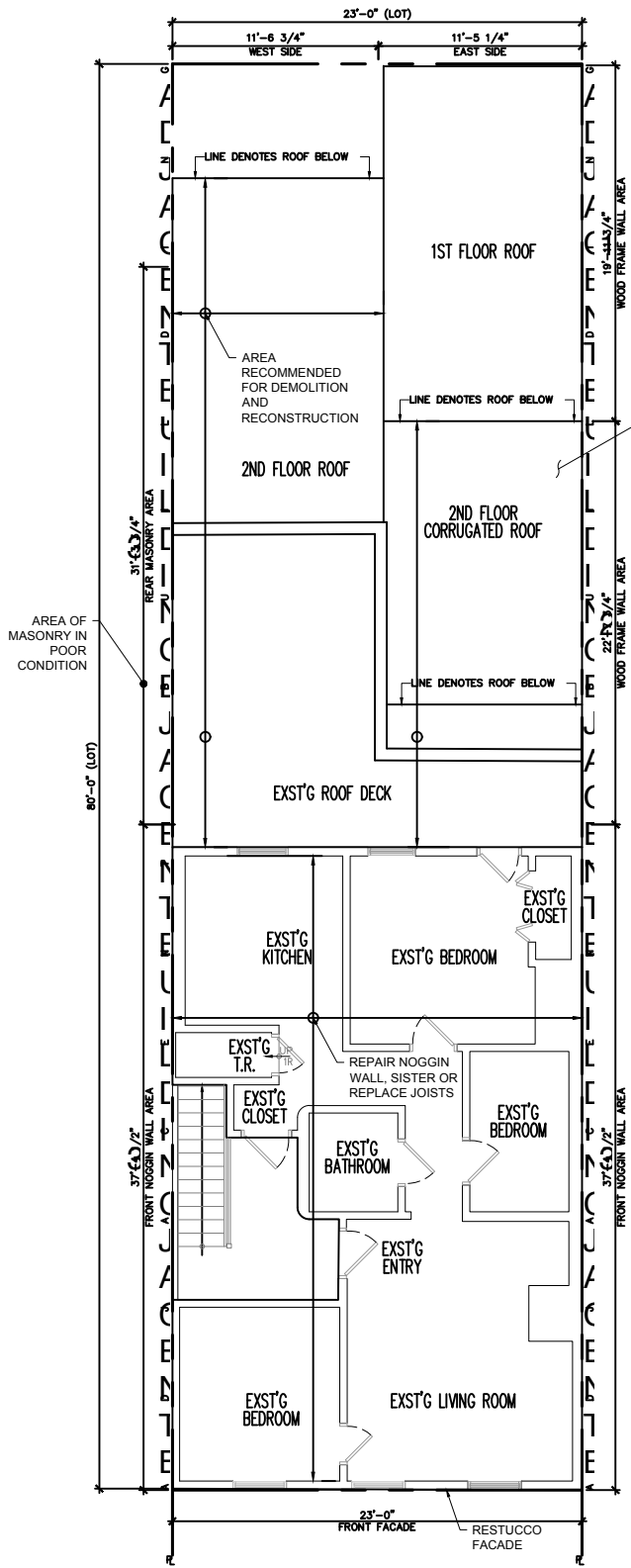




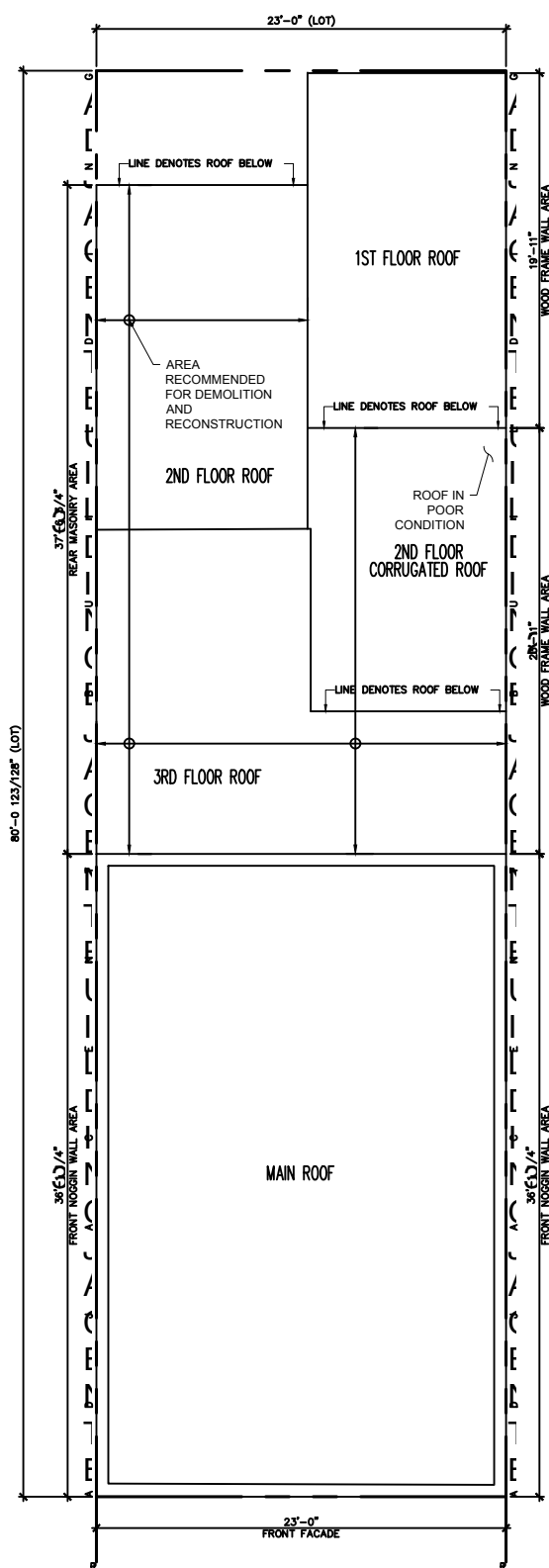
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2 THIRD FLOOR  
Scale: 3/32"=1'



1 FOURTH FLOOR  
Scale: 3/32"=1'



2 ROOF  
Scale: 3/32"=1'



## PHOTO LOG



275 BLEECKER FRONT FAÇADE IN GOOD CONDITIONS



REAR FAÇADE EASTERN PORTION



REAR FAÇADE FIRST FLOOR WESTERN PORTION



REAR FAÇADE EXTERIOR WALL SEPARATING EASTERN AND WESTERN PORTION EXHIBITING DETERIORATION AT WINDOW



REAR FAÇADE FOURTH FLOOR CORRUGATED STEEL



WEST FAÇADE FRONT PORTION WOOD CLADDING



BRICKS BETWEEN TWO WINDOWS ARE WATER DAMAGED AT 275 REAR SIDE FAÇADE



VERTICAL MEDIUM CRACK AT 275 BLEECKER SIDE FAÇADE



SILL AND LINTEL IN VERY POOR CONDITIONS AT BOTTOM WINDOW SIDE FAÇADE



275 BLEECKER FOUNDATION WALL OUTSIDE FACE IN GOOD CONDITIONS



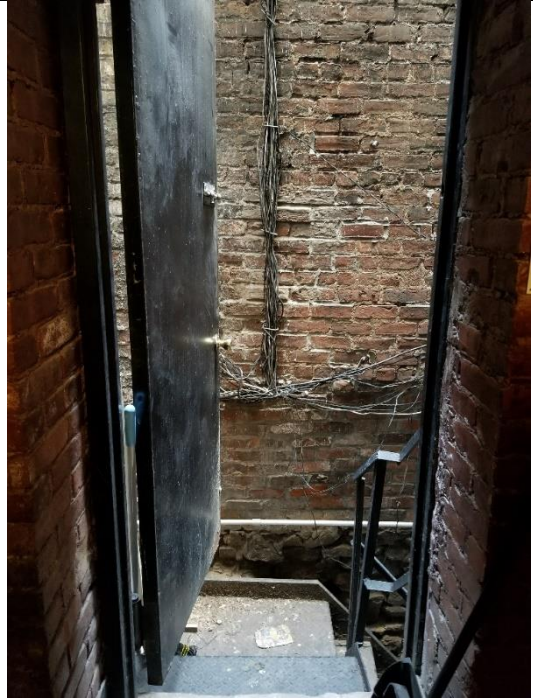
6" GAP BETWEEN 275 BLEECKER FOUNDATION WALL AND 277 FOUNDATION WALL.



275 BLEECKER SIDE FAÇADE IS LEANING AT VARIOUS LOCATIONS



DISINTEGRATED LOOSE MORTAR BETWEEN BRICKS



ALLEYWAY BETWEEN THE TWO BUILDINGS  
TOWARDS THE REAR



FRONT PORTION INTERIOR NOGGIN WALL  
EXHIBITING GAPS IN MASONRY INFILL



FRONT PORTION JOISTS IN POOR CONDITION



REAR EASTERN PORTION WOOD FRAMING



JOISTS OVER OPENING WITHOUT LINTEL.  
DEFLECTION OF SILL BEAM



REAR EASTERN PORTION OF WOOD FRAMING,  
DAMAGE/DISPLACEMENT AT WALL FLOOR  
INTERFACE



REAR WESTERN PORTION OF MASONRY  
STRUCTURE, EXHIBITING DAMAGE TO SUBFLOOR





MASONRY WALL WITH EXTENSIVE LOSS OF MASONRY, ONE WYTHE COLLAPSE



MASONRY WALL EXHIBTING DETERIORATION



JOISTS FRAMING INTO MASONRY IN POOR CONDITION, MASONRY IN POOR CONDITION