

SYMBOLS LIST:

ELEVATION

SECTION

DETAIL

INTERIOR ELEVATION

ANNOTATED NOTE

WALL TYPE

DOOR TYPE

WINDOW TYPE

REVISION

ELEVATION MARKER

ROOM NAME

TITLE NAME

BUILDING INFORMATION:

| | |
|---------------------------------------|--|
| ADDRESS: | 31 BOND STREET NEW YORK, NEW YORK 10012 |
| NYC DOB BIN #: | 1008429 |
| BLOCK: | 529 |
| LOT: | 25 |
| CB: | 102 |
| YEAR OF CONSTRUCTION: | 1889 |
| ZONING MAP: | 12C |
| ZONING DISTRICT: | M1-5B |
| EXISTING ZONING USE GROUPS: | 9 (BUSINESS), 17D (LIVE WORK) |
| PROPOSED ZONING USE GROUPS: | 6 (RETAIL) & 9 (BUSINESS) |
| SPECIAL STATUS: | N/A |
| LANDMARK STATUS: | L-LANDMARK |
| PROJECT FILED UNDER: | 1968 BUILDING CODE |
| EXISTING OCCUPANCY: | F-1A, F-3 (ASSEMBLY), E (BUSINESS) (1968 CODE) |
| PROPOSED OCCUPANCY: | E (BUSINESS), C (MERCANTILE) (1968 CODE) |
| EXISTING CONSTRUCTION CLASSIFICATION: | CLASS 2B COMBUSTIBLE (1968 CODE) |
| PROPOSED CONSTRUCTION CLASSIFICATION: | CLASS 2B COMBUSTIBLE (1968 CODE) |

DRAWING ISSUES & REVISIONS

- NEW DRAWING

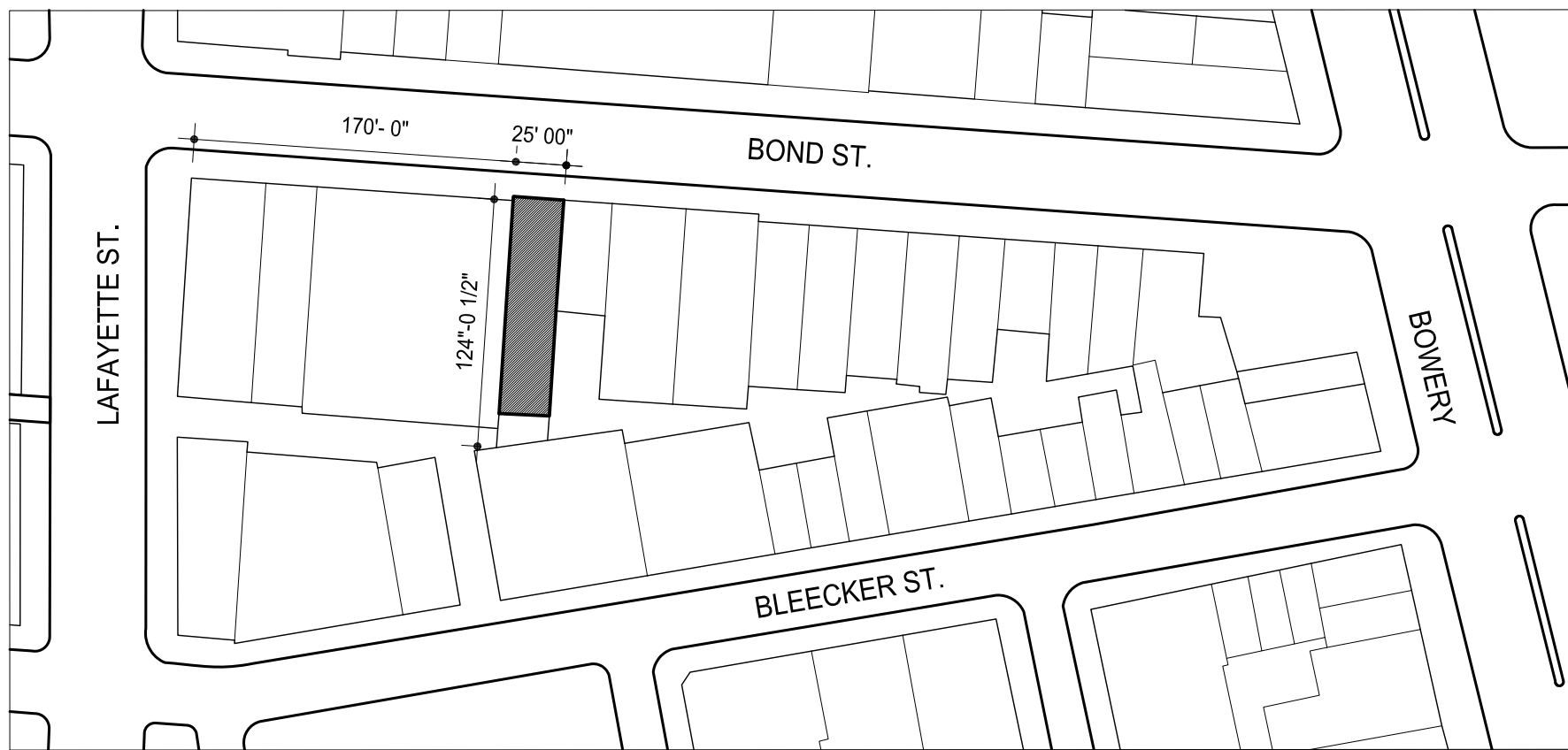
REVISED DRAWING
- NO CHANGES THIS DWG

OMITTED

| DWG NO. | DRAWING TITLE | | | | |
|----------|---|--|--|--|--|
| T-000.00 | TITLE PAGE | | | | |
| Z-001.00 | ZONING ANALYSIS | | | | |
| Z-002.00 | PROPOSED ZONING SECTION | | | | |
| A-001.00 | HISTORIC CONTEXT | | | | |
| A-002.00 | HISTORIC CONTEXT | | | | |
| A-003.00 | HISTORIC CONTEXT PHOTOS | | | | |
| A-004.00 | HISTORIC CONTEXT PHOTOS - BLOCK CONTEXT | | | | |
| A-005.00 | EXISTING FIRE ESCAPE PHOTOS | | | | |
| A-006.00 | EXISTING STOREFRONT PHOTOS | | | | |
| A-006.00 | EXISTING REAR FACADE | | | | |
| A-100.00 | SUB CELLAR PLAN - EXISTING & PROPOSED | | | | |
| A-101.00 | CELLAR FLOOR PLAN - EXISTING & PROPOSED | | | | |
| A-102.00 | FIRST FLOOR PLAN - EXISTING & PROPOSED | | | | |
| A-103.00 | SECOND FLOOR PLAN - EXISTING & PROPOSED | | | | |
| A-104.00 | THIRD FLOOR PLAN - EXISTING & PROPOSED | | | | |
| A-105.00 | FOURTH FLOOR PLAN - EXISTING & PROPOSED | | | | |
| A-106.00 | FIFTH FLOOR PLAN - EXISTING & PROPOSED | | | | |
| A-107.00 | SIXTH FLOOR PLAN - EXISTING & PROPOSED | | | | |
| A-108.00 | ROOF PLAN - EXISTING & PROPOSED | | | | |
| A-200.00 | FRONT ELEVATION - EXISTING & PROPOSED | | | | |
| A-300.00 | EXISTING SECTION | | | | |
| A-301.00 | PROPOSED SECTION | | | | |
| A-503.00 | STOREFRONT | | | | |

LPC PUBLIC HEARING SET
04/30/2017

2 DRAWING LIST



1 PLOT PLAN
NTS

31 BOND STREET

NEW YORK, NY 10012

ARCHITECT
MATTHEW BAIRD ARCHITECT PLLC.
289 HUDSON STREET, 2ND FLOOR
NEW YORK, NEW YORK 10013
T: (212) 334-2499
F: (212) 334-5721

EXPEDITOR
JAM CONSULTANTS
104 W 29TH ST #9
NEW YORK, NY 10001
(212) 627-1050

ISSUED FOR:
LPC PUBLIC HEARING

TITLE SHEET

PROJECT:
0175
BOND STREET RENOVATION

31 Bond Street
New York, NY 10012

Date: April 30, 2017
Scale: TB
Dwg By: TB
Proj No: 0175-BSP

SEAL + SIGNATURE:



T-000.00

SHEET

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| | Existing | | | | Proposed | | | | |
|------------|-----------|-----------|------------|-----------------------|-------------|-----------|--------------------------|------------|--|
| Floor | Use Group | Gross SF | Deductions | Net Zoning Floor Area | Use Group | Gross SF | Use Group 6 - Floor Area | Deductions | Net Zoning Floor Area - All Use Groups |
| Sub-Cellar | N/A | 450.00 | 450.00 | 0.00 | N/A | 450.00 | N/A | 450.00 | 0.00 |
| Cellar | N/A | 2,620.00 | 2,620.00 | 0.00 | UG 6 & UG 9 | 2,620.00 | 1,574.00 | 2,620.00 | 0.00 |
| First | UG 9 | 2,830.00 | 0.00 | 2,830.00 | UG 6 & UG 9 | 2,830.00 | 2,021.00 | 11.00 | 2,819.00 |
| Second | UG 9 | 2,719.60 | 0.00 | 2,719.60 | UG 9 | 2,719.60 | 0.00 | 17.10 | 2,702.50 |
| Third | UG 9 | 2,719.60 | 0.00 | 2,719.60 | UG 9 | 2,719.60 | 0.00 | 21.60 | 2,698.00 |
| Fourth | UG 9 | 2,719.60 | 0.00 | 2,719.60 | UG 9 | 2,719.60 | 0.00 | 23.60 | 2,696.00 |
| Fifth | UG 17D | 2,719.60 | 0.00 | 2,719.60 | UG 9 | 2,719.60 | 0.00 | 23.60 | 2,696.00 |
| Sixth | UG 17D | 2,719.60 | 0.00 | 2,719.60 | UG 9 | 2,719.60 | 0.00 | 23.60 | 2,696.00 |
| | | | | | | | | | |
| Total | | 19,498.00 | 3,070.00 | 16,428.00 | | 19,498.00 | 3,595.00 | 3,190.50 | 16,307.50 |

2 FLOOR AREA SCHEDULE
NTS

| | | | | | |
|---------------------|-----------------------------------|---|--------------------|--------------------|--|
| | | | | | |
| LOT INFORMATION | | | | | |
| ADDRESS: | 31 BOND STREET, NY NEW YORK 10012 | | | | |
| BLOCK/LOT: | 529/25 | | | | |
| ZONING LOT AREA: | 3038 SF | | | | |
| MAP NO: | 12C | | | | |
| ZONING DISTRICT: | M1-5B | | | | |
| COMMUNITY DISTRICT: | 102 | | | | |
| HISTORIC DISTRICT: | NOHO EXTENSION | | | | |
| | | | | | |
| ZONING ANALYSIS ZR | ITEM DESCRIPTION | PERMITTED / REQUIRED | EXISTING | PROPOSED | COMPLIANCE/LACK OF COMPLIANCE AND NOTES |
| | | | | | |
| | USES | | | | |
| 32-16, 42-14(D) | | UG JLWQA,6,6E,7,8A,9,11,13,14B,16,17A,17B,17C,17E | VACANT | UG 6, 9 | UG 9: COMPLIANT; UG 6 BELOW 2ND FLOOR: NON COMPLIANT, SPECIAL PERMIT REQUIRED PURSUANT TO 74-711 |
| | | | | | |
| | FAR | | | | |
| 32-16 | COMMERCIAL | 5.00 | 5.40 | 5.36 | EXISTING NON COMPLIANT |
| | | | | | |
| | FA | | | | |
| 43-12 | COMMERCIAL | 15,190 SF | 16,428 SF | 16,307.5 SF | EXISTING NON COMPLIANT |
| | LOT COVERAGE | | | | |
| 42-15(D) | MAX FOR INT. LOT | N/A | 93% | 93% | N/A |
| | | | | | |
| | YARD | | | | |
| 43-20 | FRONT | NONE REQ'D | N/A | N/A | COMPLIANT |
| 43-26, 43-31 | REAR | 20' | EXISTING 11'W,6'E | EXISTING 11'W,6'E | EXISTING NON COMPLIANT |
| 43-25 | SIDE | NONE REQ'D | N/A | N/A | |
| | | | | | |
| | HEIGHT & SET BACK | | | | |
| 43-43 | STORIES | 6 | 6 | 6 | COMPLIANT |
| 43-43 | TOTAL HEIGHT | 85'-0" | 78'-0" | 78'-0" | COMPLIANT |
| 43-43 | SKY EXP. PLANE SLOPE | 1 TO 2.7 | N/A - NO ADDITIONS | N/A - NO ADDITIONS | N/A |
| | NARROW STREET | LESS THAN 75' | | | |
| | | | | | |
| | PARKING | | | | |
| 44-21,25-81 | NOT REQ'D | 0 | 0 | 0 | COMPLIANT |
| | STREET TREES | | | | |
| 43-02,26-41 | | 1 | 1 | 1 | COMPLIANT |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |

1 ZONING ANALYSIS
NTS

ACTIONS REQUESTED:

A SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 IS REQUESTED TO MODIFY ZR SECTION 42-14D, TO PERMIT USE GROUP 6 ON THE FIRST & CELLAR FLOOR IN M1-5B ZONING DISTRICT. SEE DRAWINGS Z-100.00 & Z-101.00.

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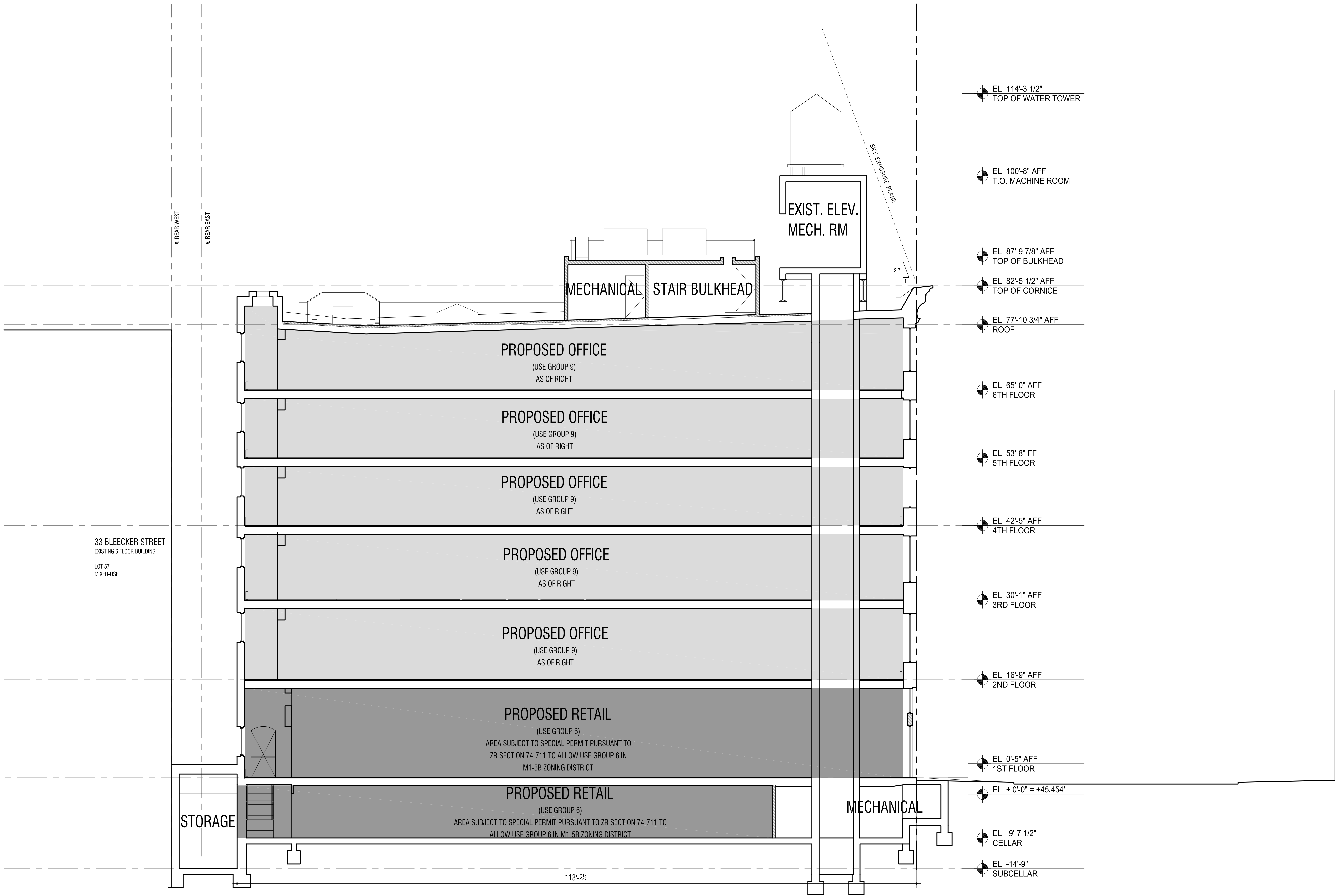
ZONING ANALYSIS

PROJECT:
0175
BOND STREET RENOVATION

31 Bond Street
New York, NY 10012
Date: April 30, 2017
Scale:
Drawn By:
Proj No: 0175-BSP

SEAL + SIGNATURE:


Z-001.00
SHEET



1 SECTION
1/8" = 1'-0"

LEGEND

| | |
|--|---|
| | AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO MODIFY ZR SECTION 42-14D TO ALLOW USE GROUP 6 IN M1-5B ZONING DISTRICT |
| | AREA AS OF RIGHT USE GROUP 9 IN M1-5B ZONING DISTRICT |

NOTES:

- INTERIOR PARTITIONS/LAYOUTS FOR ILLUSTRATIVE PURPOSE ONLY.
- APPLICANT'S STAMP AND SEAL CORRESPONDS TO THE INFORMATION REGARDING THE DEVELOPMENT SITE, ZONING, LOT, AND RELATED CURB CUTS. INFORMATION REGARDING THE SURROUNDING PROPERTIES IS FOR ILLUSTRATIVE PURPOSES ONLY.

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PROPOSED ZONING SECTION

PROJECT:
0175
BOND STREET RENOVATION

31 Bond Street
New York, NY 10012

Date: April 30, 2017
Scale:
Drawn By:
Proj No: 0175-BSP

SEAL + SIGNATURE:



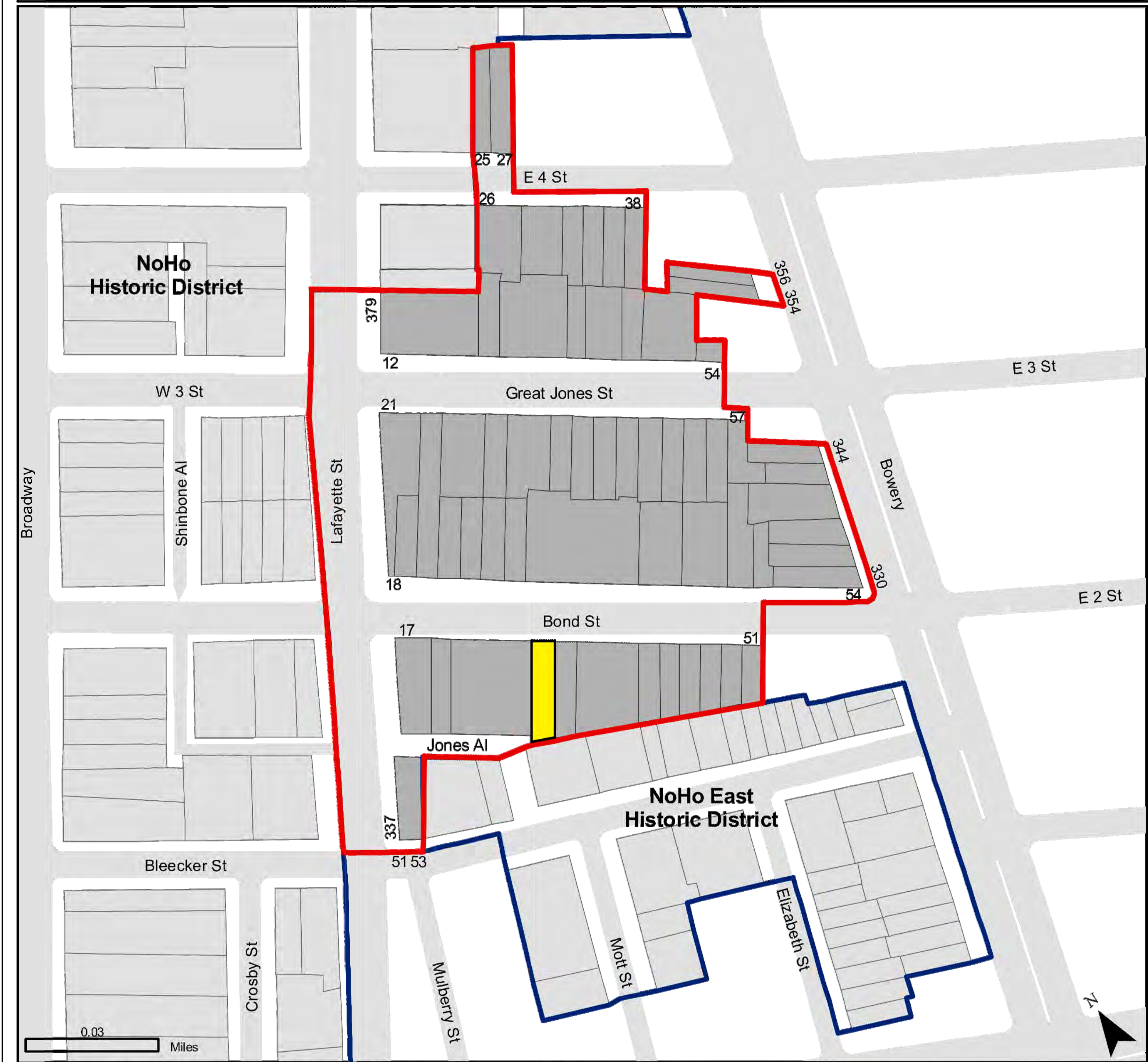
Z-002.00
SHEET



31 Bond Street, 1888-89, DeLemos and Cordes.

2 EXISTING NORTH ELEVATION
N.T.S.

NoHo Historic District Extension



Graphic Source: New York City Department of City Planning, MapPLUTO, Edition 06C, 2006. Date: May 13, 2008.

NoHo Historic District Extension
Borough of Manhattan, NY
Landmarks Preservation Commission
Calendared: January 15, 2008
Public Hearing: March 18, 2008
Designated: May 13, 2008

- NoHo & NoHo East Historic Districts
- Tax Lots NoHo & NoHo East HDs
- NoHo Historic District Extension
- Tax Lots in NoHo HD Extension



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REVISION

ISSUED FOR:
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HISTORIC CONTEXT

PROJECT:
0175
BOND STREET RENOVATION

31 Bond Street
New York, NY 10012

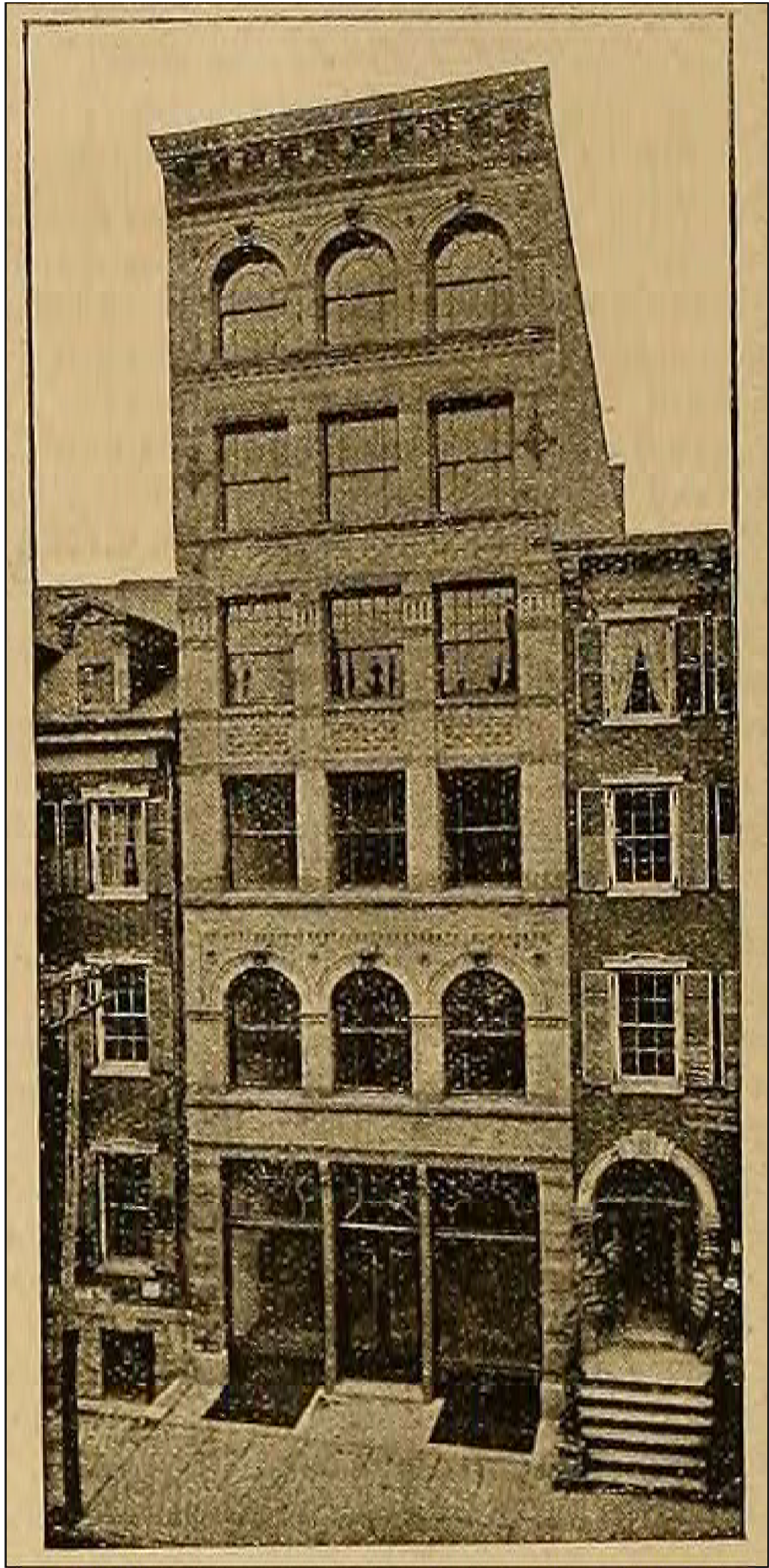
Date: April 30, 2017
Scale: TB
Dwg By: TB
Proj No: 0175-ESP

SEAL + SIGNATURE:

A-001.00
SHEET

1 HISTORIC AREA MAP





Source: Real Estate Record & Guide, May 10, 1890



Cropped from larger photo, ca. 1932. Source: NYPL



1940s Tax Photo



1980s Tax Photo

2 HISTORIC PHOTOS



1 HISTORIC PHOTOS 1932 DETAIL

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HISTORIC CONTEXT PHOTOS

PROJECT:
0175
BOND STREET RENOVATION

31 Bond Street
New York, NY 10012

Date: April 30, 2017
Scale: TB
Dwg By: TB
Proj No: 0175-ESP

SEAL + SIGNATURE:

A-003.00

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ISSUED FOR:
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1 HISTORIC PHOTOS BLOCK CONTEXT

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HISTORIC CONTEXT PHOTOS
BLOCK CONTEXT

PROJECT:
0175
BOND STREET RENOVATION

Date: April 30, 2017
Scale: TB
Proj No: 0175-ESP

SEAL + SIGNATURE:



A-004.00

SHEET

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1 EXISTING FIRE ESCAPE PHOTOS - FRONT FACADE

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ISSUED FOR:
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EXISTING FIRE ESCAPE PHOTOS

PROJECT:
0175
BOND STREET RENOVATION

31 Bond Street
New York, NY 10012

Date: April 30, 2017
Scale: TB
Dwg No: 0175-ESP

SEAL + SIGNATURE:



A-005.00
SHEET



1890 (detail)



1932 (detail)



Contemporary photo



Contemporary photo

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| | | | |
|---|--|--|--|
| PROJECT: 0175 BOND STREET RENOVATION 31 Bond Street New York, NY 10012 | | DATE: April 30, 2017 SCALE: TB DWG BY: TB PROJ NO: 0175-ESP | |
| SEAL + SIGNATURE: | | REVISION | |
| ISSUED FOR: LPC PUBLIC HEARING | | MATTHEW BAIRD ARCHITECTS 289 Hudson Street, 2nd Floor New York, NY 10013 T: 212.334.2499 F: 212.334.5721 | |
| EXISTING STOREFRONT PHOTOS | | A-006.00 SHEET | |



GENERAL NOTES:

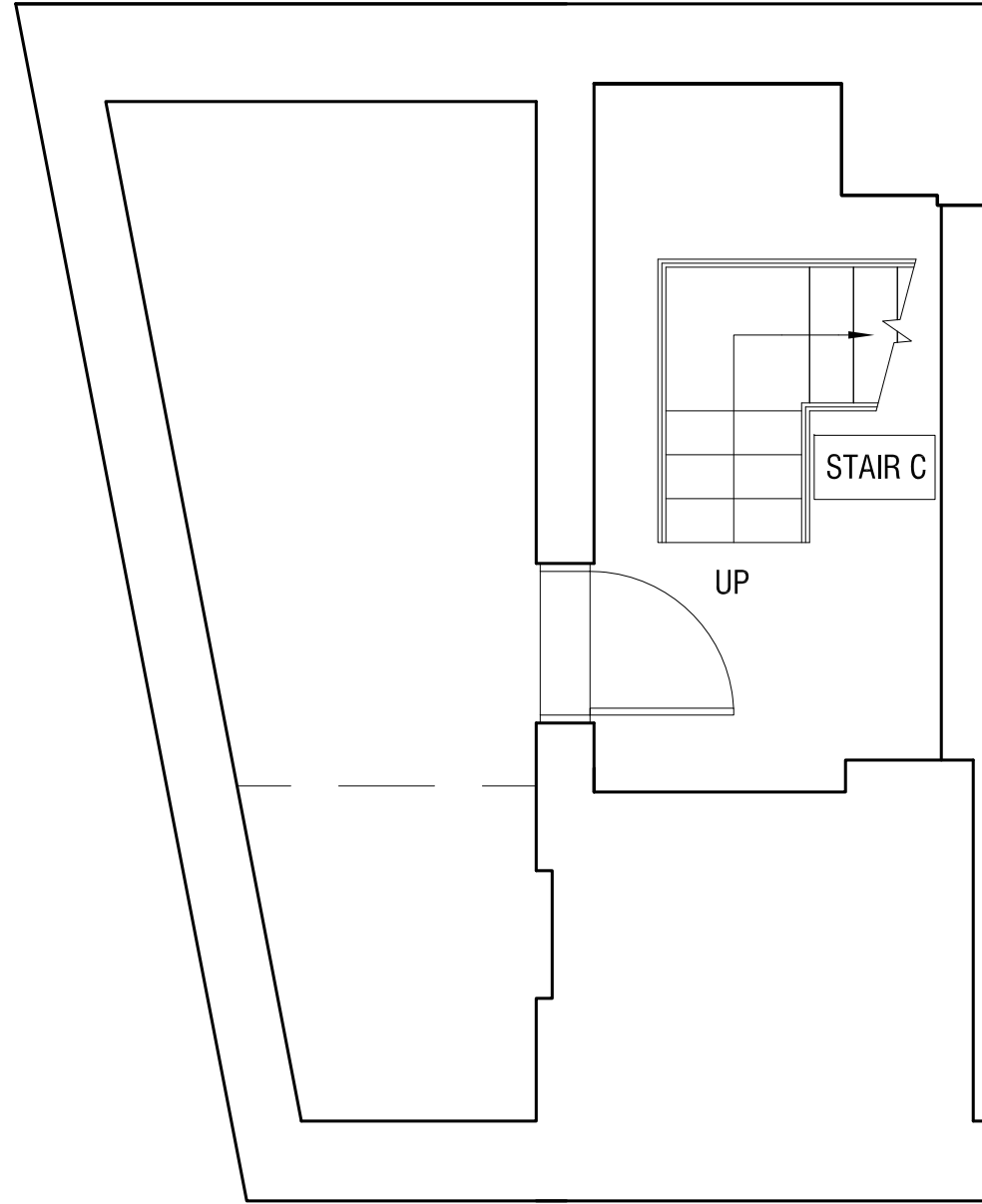
- A. ALL INTERIOR BRICK TO BE SEALED BEFORE FURRING INSTALLED.
B. CLEAN, REPOINT AS REQ'D & SEAL INTERIOR MASONRY WHERE EXPOSED.
C. REPAIR & REPLACE EXISTING INTERIOR MASONRY WINDOW SILLS AND HEADERS AS REQ'D.
D. PATCH & REPAIR EXISTING INTERIOR MASONRY AS REQ'D AT WALLS & ARCHES.
E. AREAS OF EXPOSED JOISTS TO BE STRIPPED AND CLEANED..
F. 1ST THROUGH 6TH FLOORS TO RECEIVE NEW FINISHED OAK FLOORS OVER EXISTING SUBFLOOR.

SHEET NOTES:

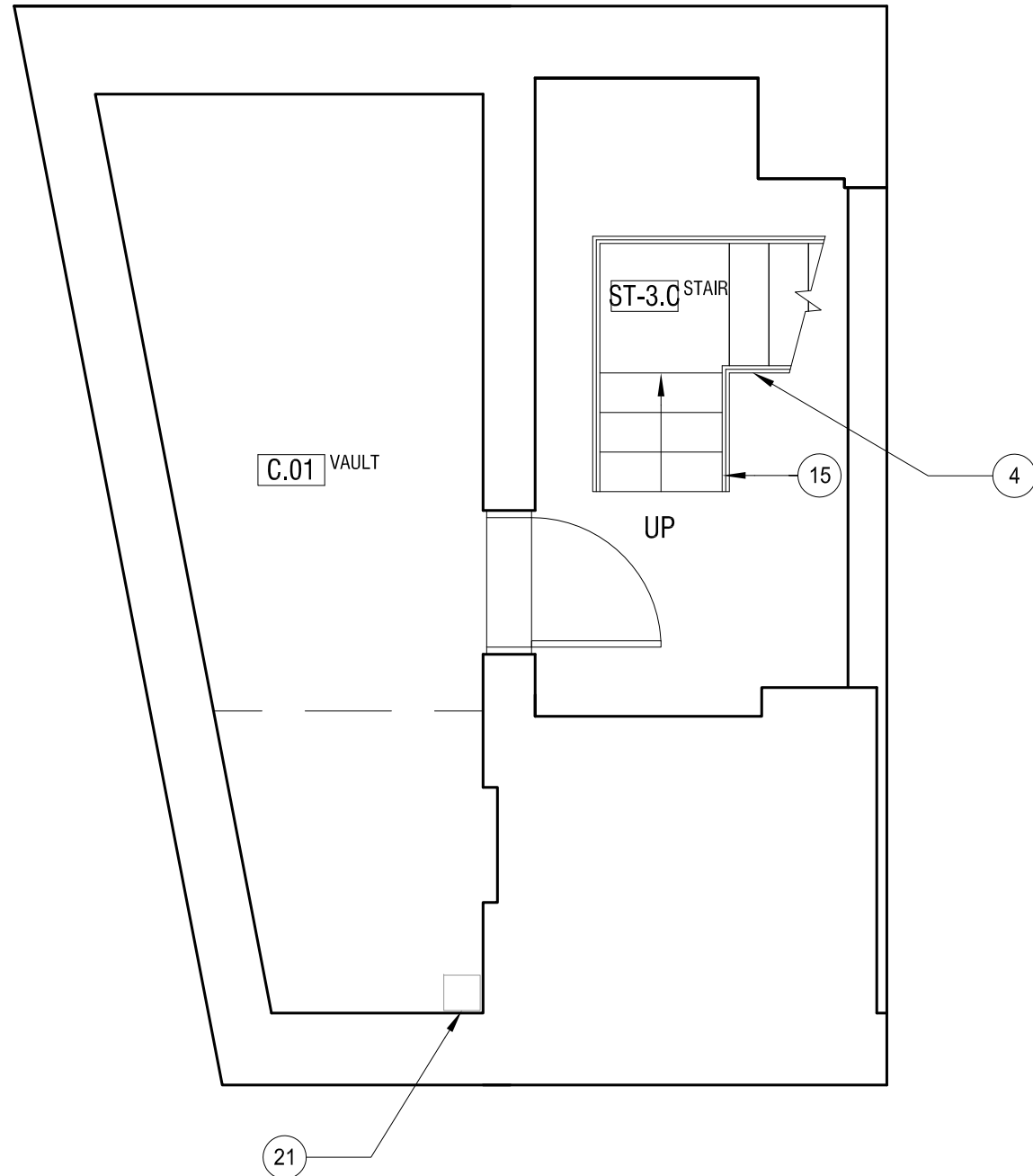
1. NEW LPC APPROVED WINDOWS IN EXISTING OPENING IN SEPARATE STAFF LEVEL APPLICATION.
2. NEW GALVANIZED STEEL SHEET METAL FRAME SKYLIGHT IN EXISTING OPENING.
3. REPAIR EXISTING FIRE ESCAPE AS REQ'D.
4. REFURBISH & REFINISH EXISTING STAIR & RAILING.
5. NEW METAL PAN STAIR W/ CONCRETE TREADS.
6. NEW ELEVATOR CAB IN EXISTING SHAFT BY OTHERS. GC TO COORDINATE INSTALLATION.
7. FILL ELEVATOR SHAFT OPENING FROM PREVIOUS DOOR BUCK W/ 2 HOUR RATED ENCLOSURE.
8. NEW DOOR IN EXISTING OPENING.
9. NEW STAINLESS STEEL ELEVATOR DOOR.
10. NEW GWB WALL. EXPOSE BRICK AT TOP, BOTTOM, & SIDES; 1'-0" FROM FINISH FLOOR, B.O. JOISTS, & CORNERS.
11. PROVIDE NEW GALVANIZED STEEL 6'-0" WIDE UTILITY STAIR OVER DUNNAGE FOR FDNY ACCESS.
12. EXISTING DUNNAGE TO SUPPORT NEW CONDENSING UNITS.
13. NEW 42" HIGH ¾" LOW IRON GLASS BALUSTRADE.
14. LINE OF SKYLIGHT ABOVE.
15. EXISTING RAILING REFURBISHED TO REMAIN.
16. EXISTING WATER TANK ABOVE TO BE DECOMMISSIONED BUT REMAIN INTACT.
17. NEW BITUMINOUS COLD-APPLIED ROOF MEMBRANE OVER 6" RIGID INSULATION AND (1) LAYERS ¾" PLYWOOD SHEATHING OVER EXISTING SHEATHING ON EXISTING SLOPED JOISTS.
18. SCUPPER.
19. GALVANIZED STEEL SHIPS LADDER.
20. GALVANIZED STEEL PIPE RAILING.
21. NEW SUMP PUMP TO REPLACE EXISTING.
22. BUILD UP NEIGHBORING CHIMNEY TO 3' ABOVE BULKHEAD FINISHED ROOF.
23. NEW MECHANICAL UNITS ON EXTENDED EXISTING DUNNAGE.
24. NEW MECHANICAL UNITS ON ROOF PAD.
25. NEW STAIR IN EXISTING LOCATION.
26. REMOVE EXISTING FIRE ESCAPE: PATCH & REPAIR MASONRY PER LPC GUIDELINES.
27. NEW GALVANIZED STEEL PARAPET PIPE RAILING.
28. SCRAPE, REFURBISH, & REPAINT EXISTING PARAPET RAILING.
29. NEW LIQUID-APPLIED WATERPROOF MEMBRANE OVER EXISTING MEMBRANE IN REAR YARD.
30. EXISTING ELEVATOR MACHINE ROOM. PATCHING AND PAINTING IN SEPARATE STAFF LEVEL APPLICATION.
31. EXISTING HOUSE TRAP TO REMAIN.
32. NEW WINDOW IN REBUILT WALL.
33. -
34. STAIR ABOVE.

LEGEND:

- PROPERTY LINE
ADJACENT BUILDING
NEW INTERIOR PARTITION / FURRING
NEW EXTERIOR PARTITION
EXISTING WALL TO REMAIN
EXISTING WALL TO BE REMOVED



2 SUB-CELLAR PLAN - EXISTING
1/4" = 1'-0"



1 SUB-CELLAR PLAN - PROPOSED
1/4" = 1'-0"

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MATTHEW BAIRD ARCHITECTS
288 Hudson Street, 2nd floor
New York, NY 10013
T: 212.334.2498
F: 212.334.5721

REVISION

ISSUED FOR:
LPC PUBLIC HEARING

SUB CELLAR PLAN - EXISTING &
PROPOSED

PROJECT:
0175
BOND STREET RENOVATION
31 Bond Street
New York, NY 10012
Date: April 30, 2017
Scale: AS NOTED
Dwg By: TB
Proj No: 0175-BSP

SEAL + SIGNATURE:



A-100.00
SHEET

GENERAL NOTES:

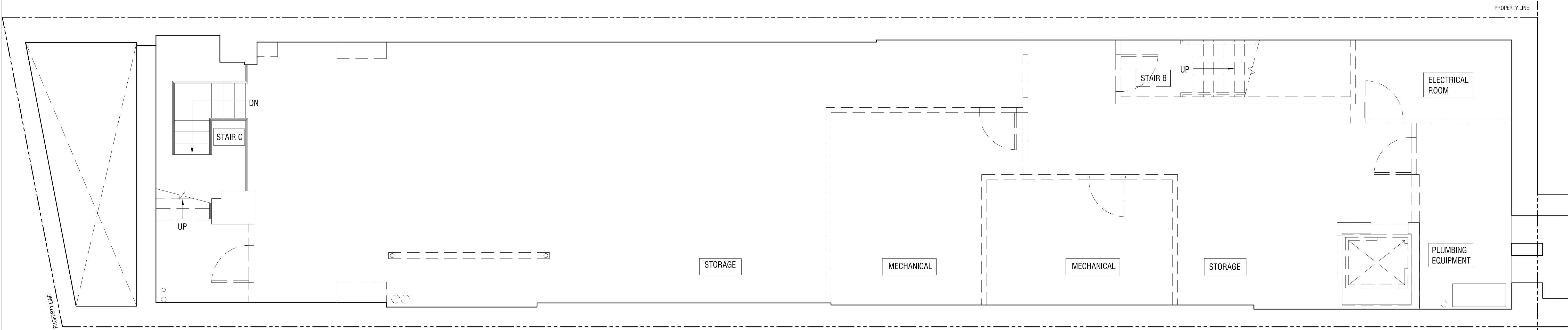
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B. CLEAN, REPOINT AS REQ'D & SEAL INTERIOR MASONRY WHERE EXPOSED.
C. REPAIR & REPLACE EXISTING INTERIOR MASONRY WINDOW SILLS AND HEADERS AS REQ'D.
D. PATCH & REPAIR EXISTING INTERIOR MASONRY AS REQ'D AT WALLS & ARCHES.
E. AREAS OF EXPOSED JOISTS TO BE STRIPPED AND CLEANED..
F. 1ST THROUGH 6TH FLOORS TO RECEIVE NEW FINISHED OAK FLOORS OVER EXISTING SUBFLOOR.

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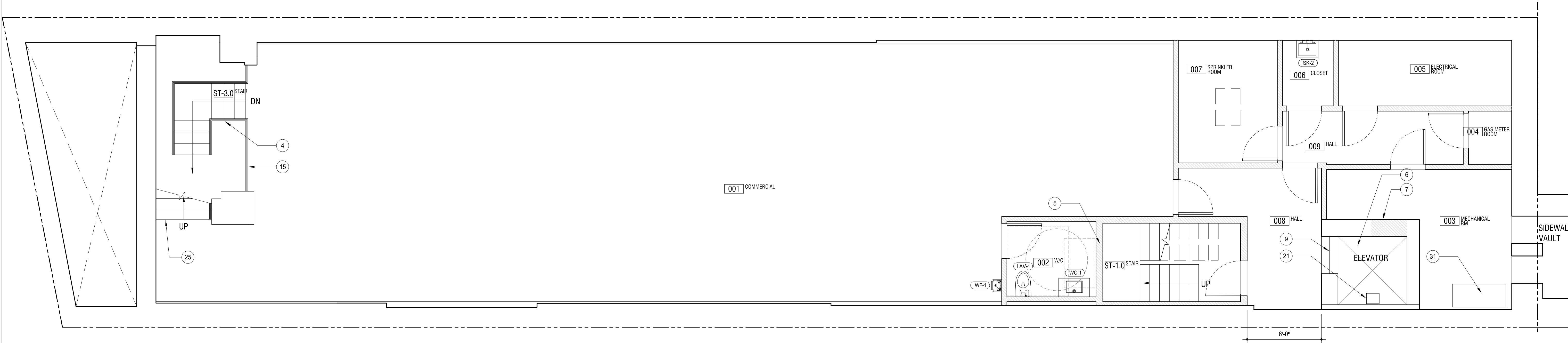
1. NEW LPC APPROVED WINDOWS IN EXISTING OPENING IN SEPARATE STAFF LEVEL APPLICATION.
2. NEW GALVANIZED STEEL SHEET METAL FRAME SKYLIGHT IN EXISTING OPENING.
3. REPAIR EXISTING FIRE ESCAPE AS REQ'D.
4. REFURBISH & REFINISH EXISTING STAIR & RAILING.
5. NEW METAL PAN STAIR W/ CONCRETE TREADS.
6. NEW ELEVATOR CAB IN EXISTING SHAFT BY OTHERS. GC TO COORDINATE INSTALLATION.
7. FILL ELEVATOR SHAFT OPENING FROM PREVIOUS DOOR BUCK W/ 2 HOUR RATED ENCLOSURE.
8. NEW DOOR IN EXISTING OPENING.
9. NEW STAINLESS STEEL ELEVATOR DOOR.
10. NEW GWB WALL. EXPOSE BRICK AT TOP, BOTTOM, & SIDES; 1'-0" FROM FINISH FLOOR, B.O. JOISTS, & CORNERS.
11. PROVIDE NEW GALVANIZED STEEL 6'-0" WIDE UTILITY STAIR OVER DUNNAGE FOR FDNY ACCESS.
12. EXISTING DUNNAGE TO SUPPORT NEW CONDENSING UNITS.
13. NEW 42" HIGH 3/4" LOW IRON GLASS BALUSTRADE.
14. LINE OF SKYLIGHT ABOVE.
15. EXISTING RAILING REFURBISHED TO REMAIN.
16. EXISTING WATER TANK ABOVE TO BE DECOMMISSIONED BUT REMAIN INTACT.
17. NEW BITUMINOUS COLD-APPLIED ROOF MEMBRANE OVER 6" RIGID INSULATION AND (1) LAYERS 3/4" PLYWOOD SHEATHING OVER EXISTING SHEATHING ON EXISTING SLOPED JOISTS.
18. SCUPPER.
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LEGEND:

- PROPERTY LINE
ADJACENT BUILDING
NEW INTERIOR PARTITION / FURRING
NEW EXTERIOR PARTITION
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EXISTING WALL TO BE REMOVED



2 CELLAR PLAN - EXISTING
1/4" = 1'-0"



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CELLAR FLOOR PLAN -
EXISTING & PROPOSED

PROJECT:
0175

BOND STREET RENOVATION
31 Bond Street
New York, NY 10012

Date: April 30, 2017
Scale: AS NOTED
Dwg By: TB
Proj No: 0175-BSP

SEAL + SIGNATURE:



A-101.00

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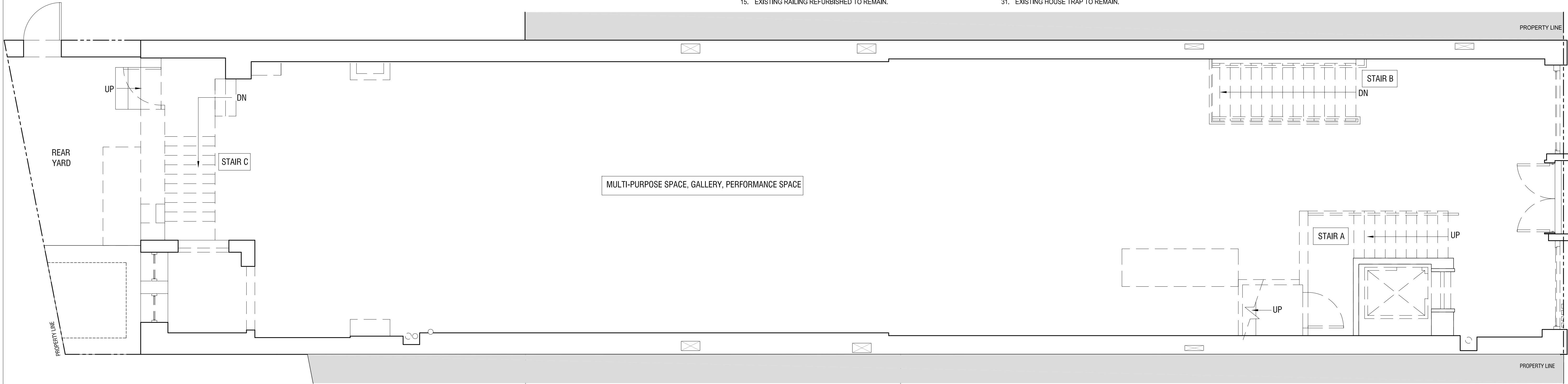
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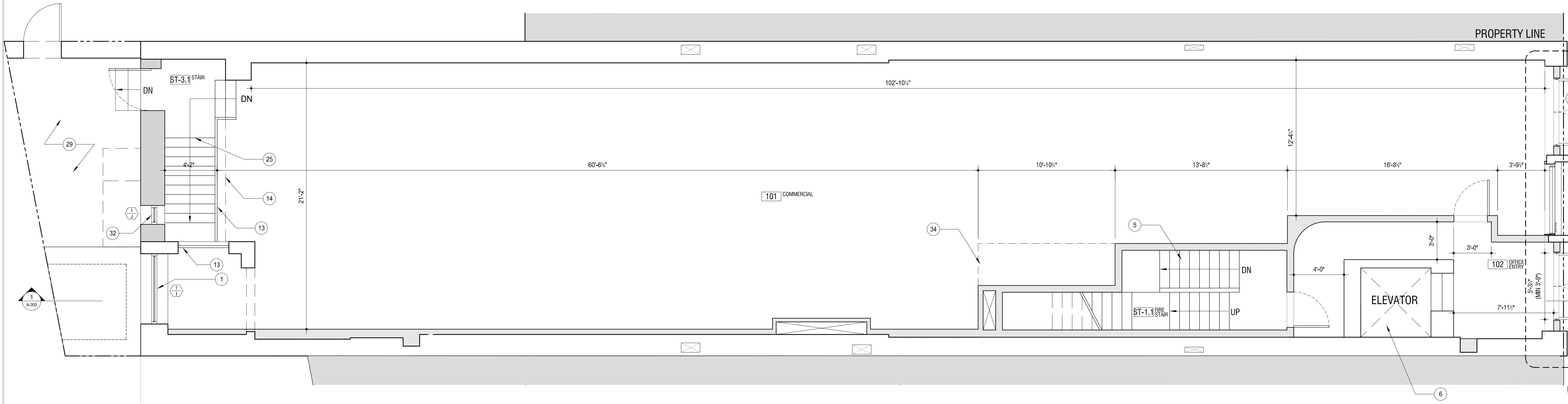
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FIRST FLOOR PLAN - EXISTING
& PROPOSED

PROJECT:

0175

BOND STREET RENOVATION

31 Bond Street

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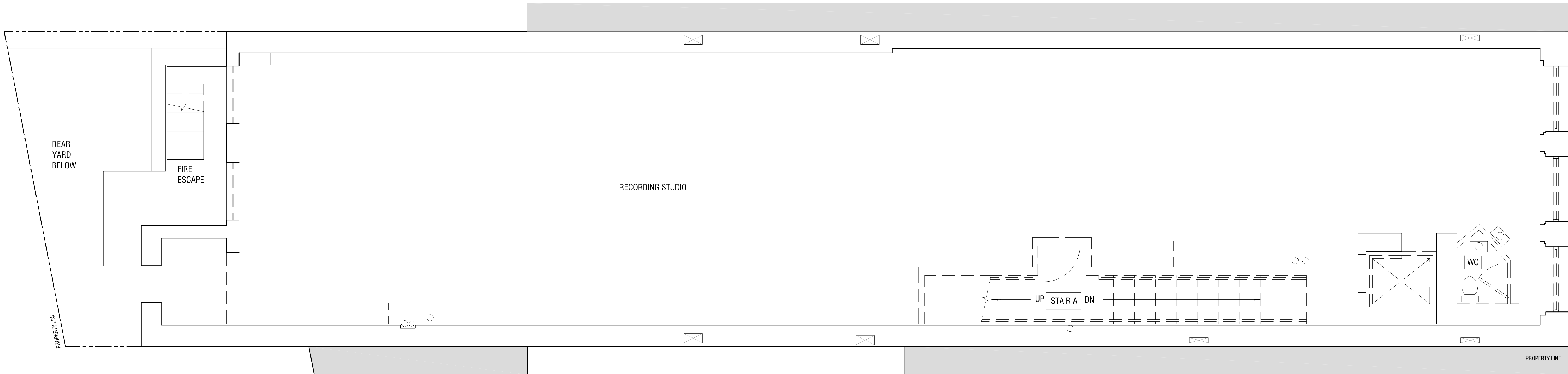
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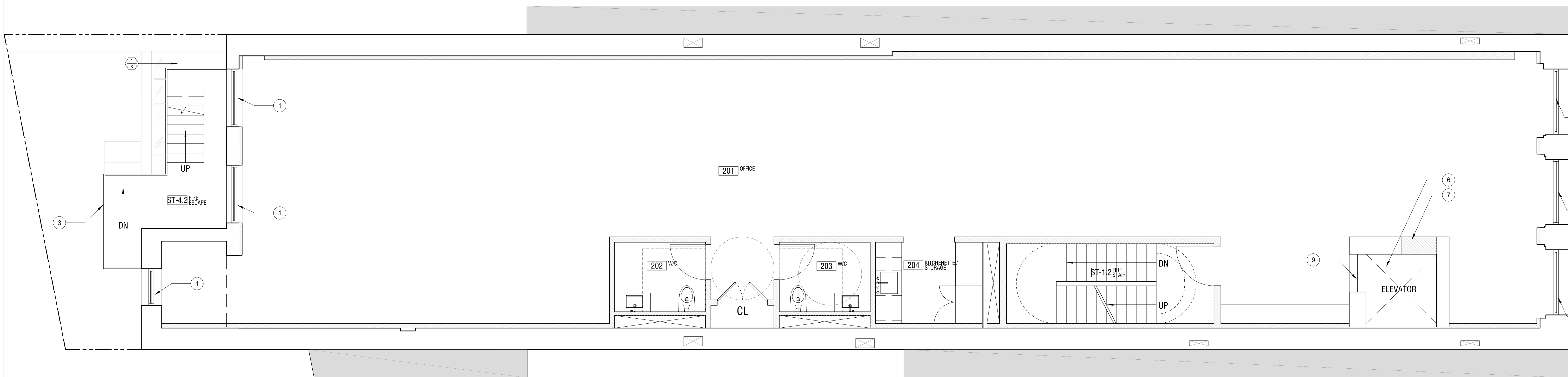
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2 SECOND FLOOR PLAN - EXISTING
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PROJECT:
0175
BOND STREET RENOVATION

31 Bond Street
New York, NY 10012
Date: April 30, 2017
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Proj No: 0175-BSP

SEAL + SIGNATURE:



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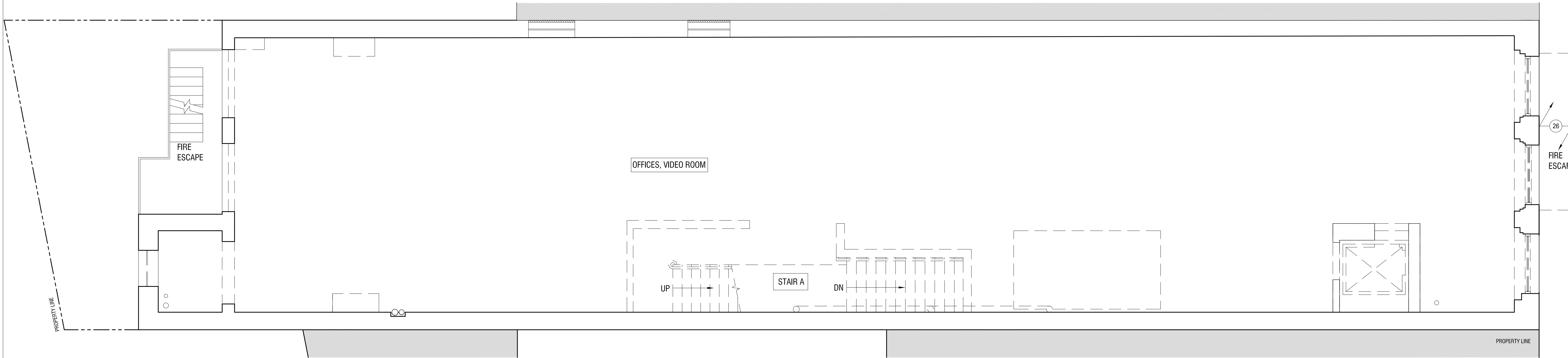
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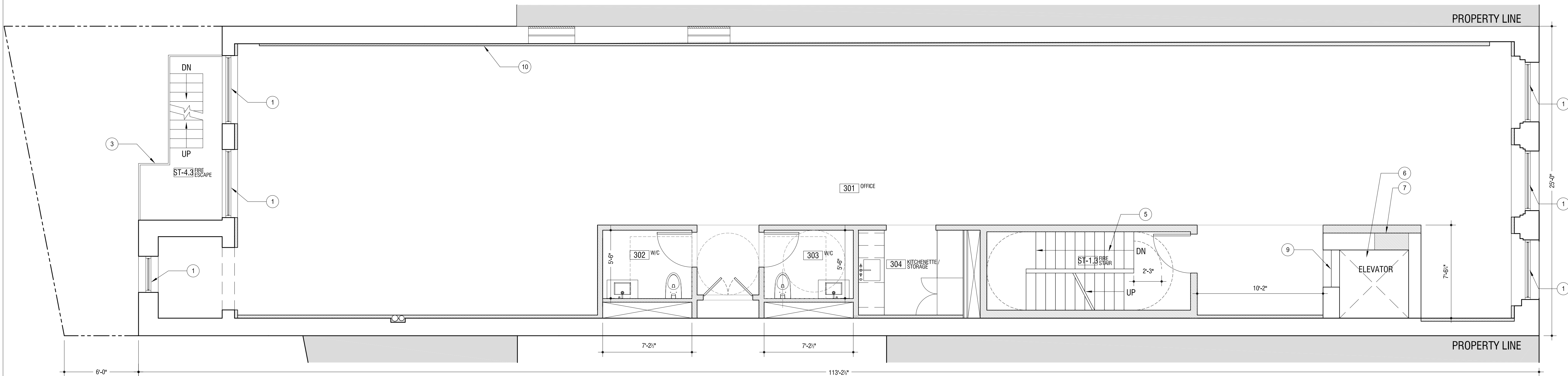
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THIRD FLOOR PLAN - EXISTING
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PROJECT: 0175

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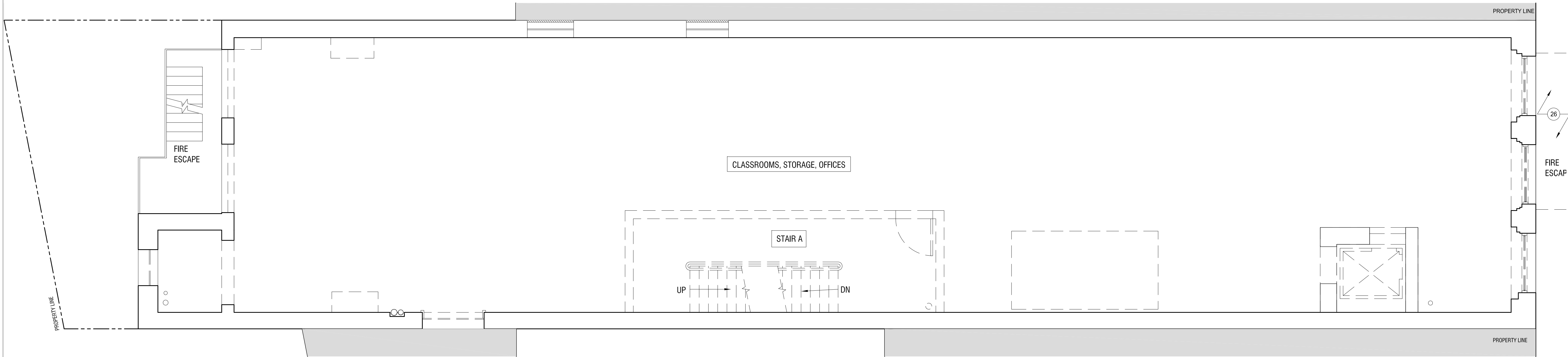
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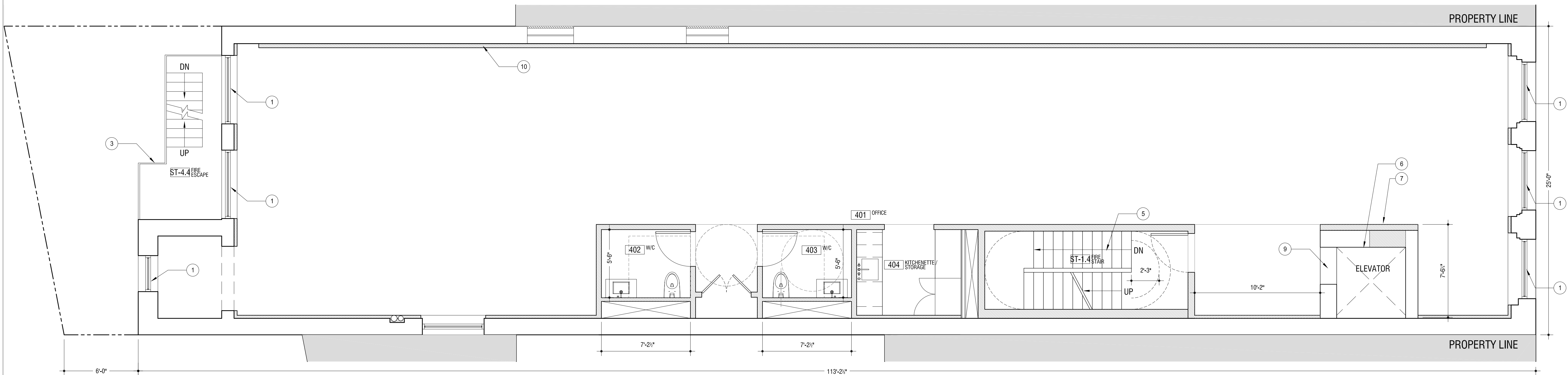
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Date: April 30, 2017
Scale: AS NOTED
Dwg By: TB
Proj No: 0175-BSP

SEAL + SIGNATURE:



A-105.00

SHEET

GENERAL NOTES:

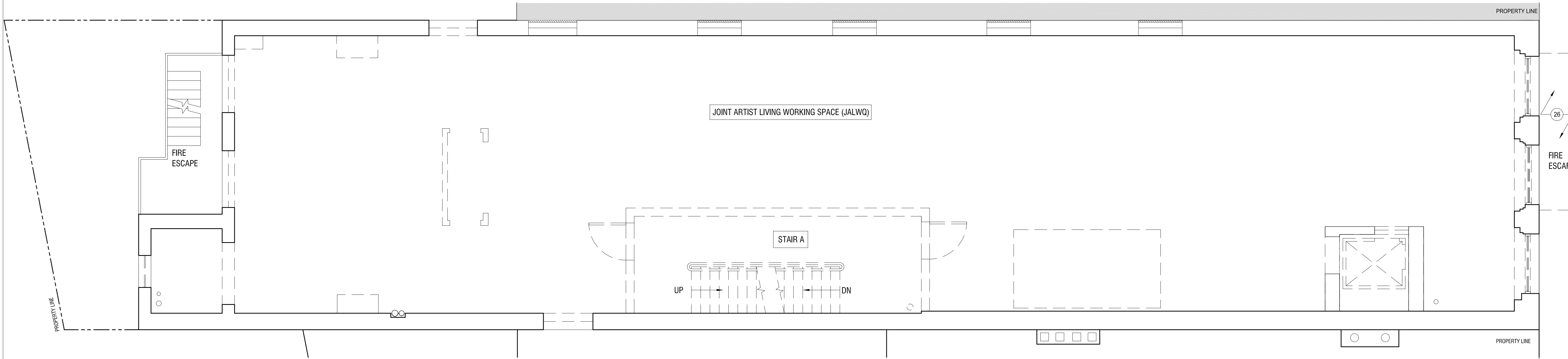
- A. ALL INTERIOR BRICK TO BE SEALED BEFORE FURRING INSTALLED.
B. CLEAN, REPOINT AS REQ'D & SEAL INTERIOR MASONRY WHERE EXPOSED.
C. REPAIR & REPLACE EXISTING INTERIOR MASONRY WINDOW SILLS AND HEADERS AS REQ'D.
D. PATCH & REPAIR EXISTING INTERIOR MASONRY AS REQ'D AT WALLS & ARCHES.
E. AREAS OF EXPOSED JOISTS TO BE STRIPPED AND CLEANED..
F. 1ST THROUGH 6TH FLOORS TO RECEIVE NEW FINISHED OAK FLOORS OVER EXISTING SUBFLOOR.

SHEET NOTES:

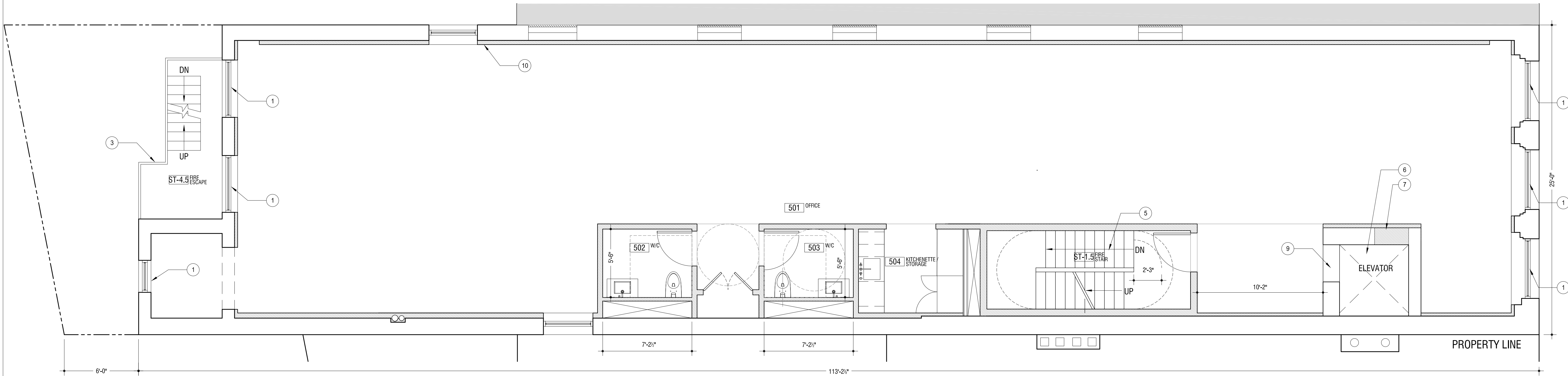
1. NEW LPC APPROVED WINDOWS IN EXISTING OPENING IN SEPARATE STAFF LEVEL APPLICATION.
2. NEW GALVANIZED STEEL SHEET METAL FRAME SKYLIGHT IN EXISTING OPENING.
3. REPAIR EXISTING FIRE ESCAPE AS REQ'D.
4. REFURBISH & REFINISH EXISTING STAIR & RAILING.
5. NEW METAL PAN STAIR W/ CONCRETE TREADS.
6. NEW ELEVATOR CAB IN EXISTING SHAFT BY OTHERS. GC TO COORDINATE INSTALLATION.
7. FILL ELEVATOR SHAFT OPENING FROM PREVIOUS DOOR BUCK W/ 2 HOUR RATED ENCLOSURE.
8. NEW DOOR IN EXISTING OPENING.
9. NEW STAINLESS STEEL ELEVATOR DOOR.
10. NEW GWB WALL, EXPOSE BRICK AT TOP, BOTTOM, & SIDES; 1'-0" FROM FINISH FLOOR, B.O. JOISTS, & CORNERS.
11. PROVIDE NEW GALVANIZED STEEL 6'-0" WIDE UTILITY STAIR OVER DUNNAGE FOR FDNY ACCESS.
12. EXISTING DUNNAGE TO SUPPORT NEW CONDENSING UNITS.
13. NEW 42" HIGH 3/4" LOW IRON GLASS BALUSTRADE.
14. LINE OF SKYLIGHT ABOVE.
15. EXISTING RAILING REFURBISHED TO REMAIN.
16. EXISTING WATER TANK ABOVE TO BE DECOMMISSIONED BUT REMAIN INTACT.
17. NEW BITUMINOUS COLD-APPLIED ROOF MEMBRANE OVER 6" RIGID INSULATION AND (1) LAYERS 3/4" PLYWOOD SHEATHING OVER EXISTING SHEATHING ON EXISTING SLOPED JOISTS.
18. SCUPPER.
19. GALVANIZED STEEL SHIPS LADDER.
20. GALVANIZED STEEL PIPE RAILING.
21. NEW SUMP PUMP TO REPLACE EXISTING.
22. BUILD UP NEIGHBORING CHIMNEY TO 3' ABOVE BULKHEAD FINISHED ROOF.
23. NEW MECHANICAL UNITS ON EXTENDED EXISTING DUNNAGE.
24. NEW MECHANICAL UNITS ON ROOF PAD.
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26. REMOVE EXISTING FIRE ESCAPE: PATCH & REPAIR MASONRY PER LPC GUIDELINES.
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31. EXISTING HOUSE TRAP TO REMAIN.
32. NEW WINDOW IN REBUILT WALL.
33. -
34. STAIR ABOVE.

LEGEND:

- PROPERTY LINE
ADJACENT BUILDING
NEW INTERIOR PARTITION / FURRING
NEW EXTERIOR PARTITION
EXISTING WALL TO REMAIN
EXISTING WALL TO BE REMOVED



2 FIFTH FLOOR PLAN - EXISTING
1/4" = 1'-0"



1 FIFTH FLOOR PLAN - PROPOSED
1/4" = 1'-0"

FIFTH FLOOR PLAN - EXISTING & PROPOSED

PROJECT: 0175

BOND STREET RENOVATION

31 Bond Street
New York, NY 10012

Date: April 30, 2017

Scale: AS NOTED

Dwg By: TB

Proj No: 0175-BSP

SEAL + SIGNATURE:



A-106.00

SHEET

GENERAL NOTES:

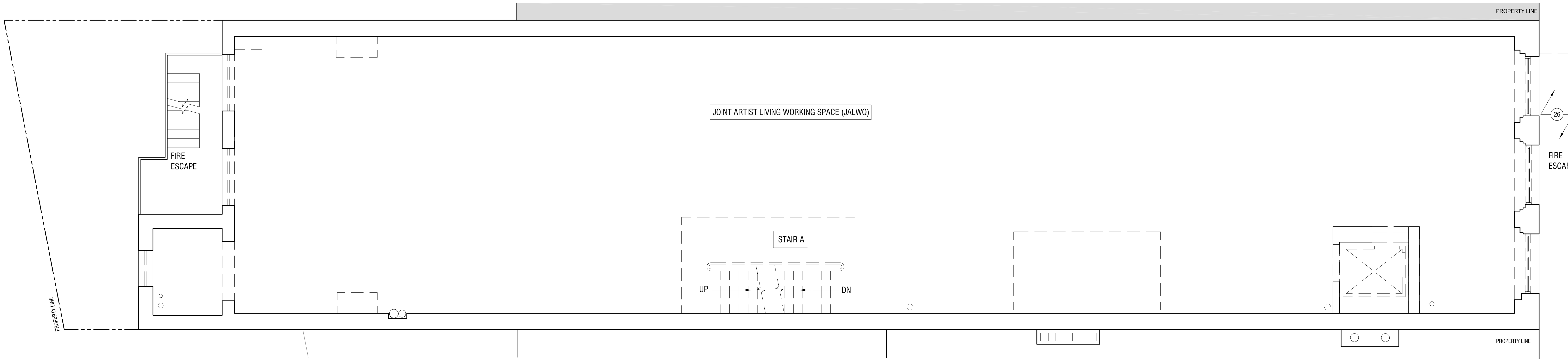
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D. PATCH & REPAIR EXISTING INTERIOR MASONRY AS REQ'D AT WALLS & ARCHES.
E. AREAS OF EXPOSED JOISTS TO BE STRIPPED AND CLEANED..
F. 1ST THROUGH 6TH FLOORS TO RECEIVE NEW FINISHED OAK FLOORS OVER EXISTING SUBFLOOR.

SHEET NOTES:

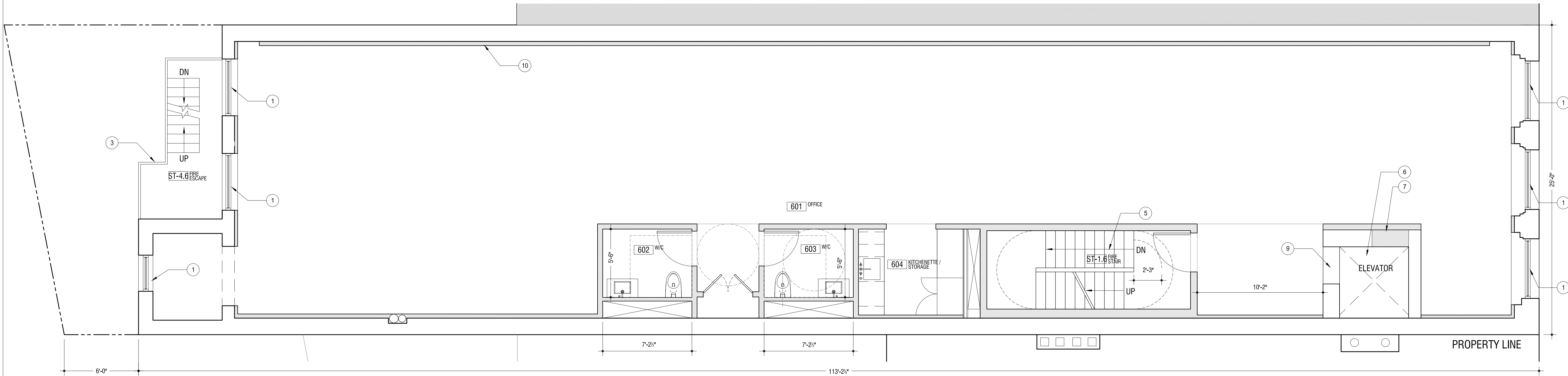
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34. STAIR ABOVE.

LEGEND:

- PROPERTY LINE
ADJACENT BUILDING
NEW INTERIOR PARTITION / FURRING
NEW EXTERIOR PARTITION
EXISTING WALL TO REMAIN
EXISTING WALL TO BE REMOVED



2 SIXTH FLOOR PLAN - EXISTING
1/4" = 1'-0"



1 SIXTH FLOOR PLAN - PROPOSED
1/4" = 1'-0"

SIXTH FLOOR PLAN - EXISTING
& PROPOSED

PROJECT: 0175
BOND STREET RENOVATION
31 Bond Street
New York, NY 10012
Date: April 30, 2017
Scale: AS NOTED
Dwg By: TB
Proj No: 0175-BSP

SEAL + SIGNATURE:
REGISTERED ARCHITECT
MATTHEW BAIRD
STATE OF NEW YORK
62015-1

A-107.00
SHEET

MATTHEW BAIRD ARCHITECTS
288 Hudson Street, 2nd floor
New York, NY 10013
T: 212.334.2498
F: 212.334.5721

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ISSUED FOR:
LPC PUBLIC HEARING

GENERAL NOTES:

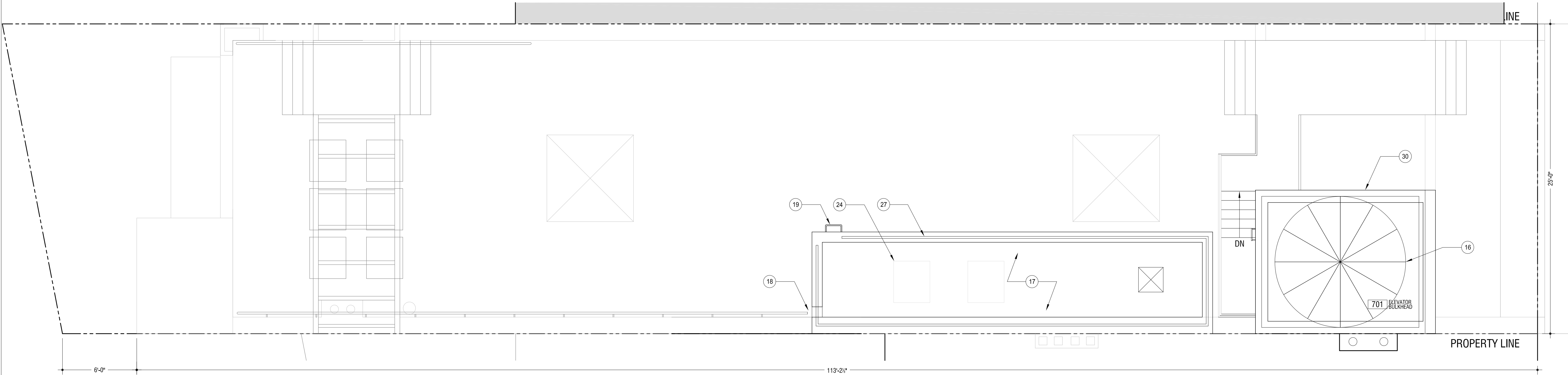
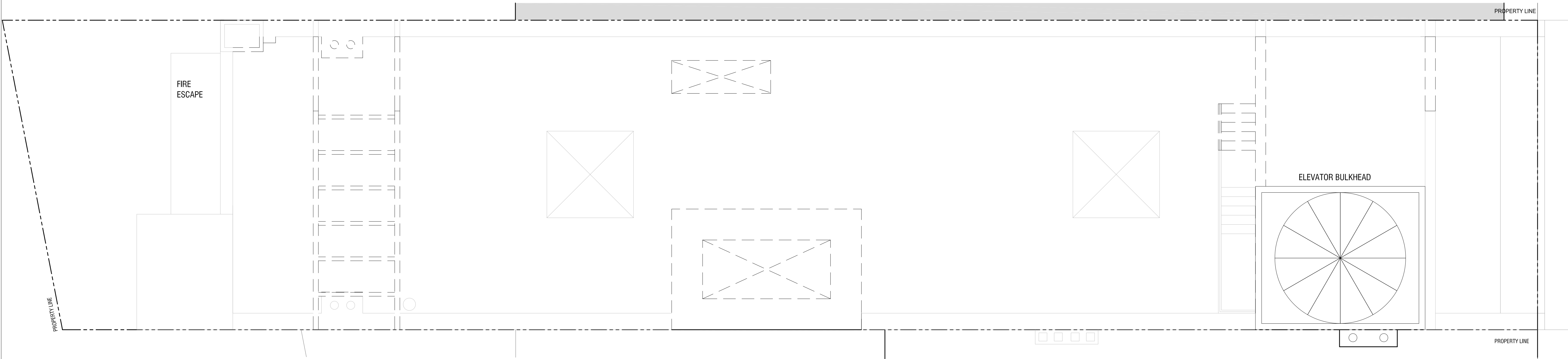
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SHEET NOTES:

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LEGEND:

- PROPERTY LINE
ADJACENT BUILDING
NEW INTERIOR PARTITION / FURRING
NEW EXTERIOR PARTITION
EXISTING WALL TO REMAIN
EXISTING WALL TO BE REMOVED



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MATTHEW BAIRD ARCHITECTS
288 Hudson Street, 2nd floor
New York, NY 10013
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F: 212.334.5721

| REVISION |
|----------|
| |

ISSUED FOR:
LPC PUBLIC HEARING

ROOF PLAN - EXISTING & PROPOSED

PROJECT: **0175**
BOND STREET RENOVATION

31 Bond Street
New York, NY 10012

Date: April 30, 2017
Scale: AS NOTED
Dwg By: TB
Proj No: 0175-BSP

SEAL + SIGNATURE:



A-108.00

SHEET

GENERAL NOTES:
A. WINDOW REPLACEMENT IN SEPARATE STAFF LEVEL APPLICATION
B. PATCH DAMAGED MASONRY LOCATIONS FROM FRONT FACADE FIRE ESCAPE REMOVAL TO MATCH SURROUNDING MASONRY PER LPC GUIDELINES.

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FRONT & REAR ELEVATIONS -
EXISTING & PROPOSED

PROJECT:
0175

BOND STREET RENOVATION

31 Bond Street
New York, NY 10012

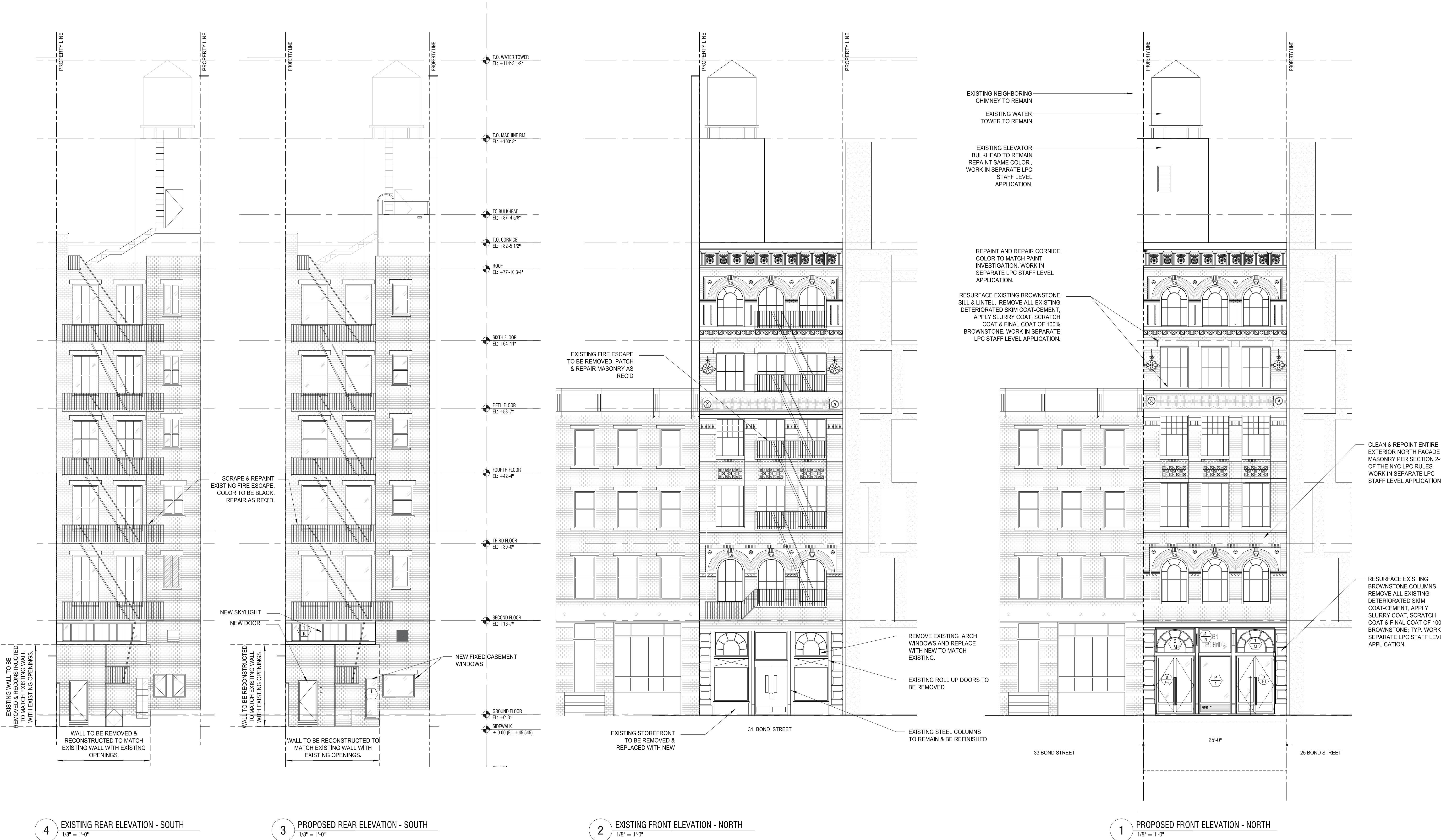
Date: April 30, 2017
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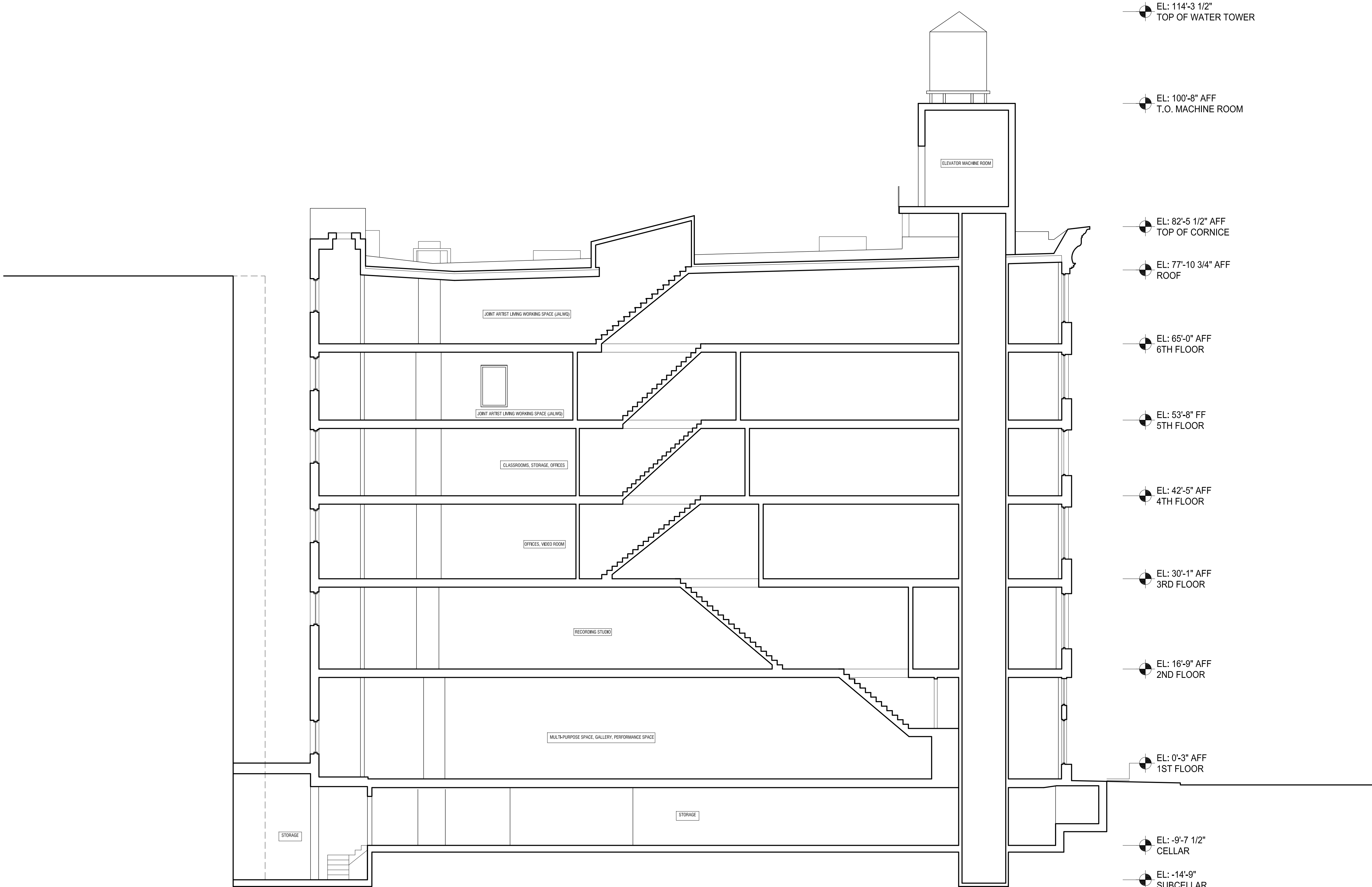
SEAL + SIGNATURE:



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SHEET





EL: 114'-3 1/2" TOP OF WATER TOWER

EL: 100'-8" AFF T.O. MACHINE ROOM

EL: 82'-5 1/2" AFF TOP OF CORNICE

EL: 77'-10 3/4" AFF ROOF

EL: 65'-0" AFF 6TH FLOOR

EL: 53'-8" FF 5TH FLOOR

EL: 42'-5" AFF 4TH FLOOR

EL: 30'-1" AFF 3RD FLOOR

EL: 16'-9" AFF 2ND FLOOR

EL: 0'-3" AFF 1ST FLOOR

EL: -9'-7 1/2" CELLAR

EL: -14'-9" SUBCELLAR

1 EXISTING SECTION
1/8" = 1'-0"

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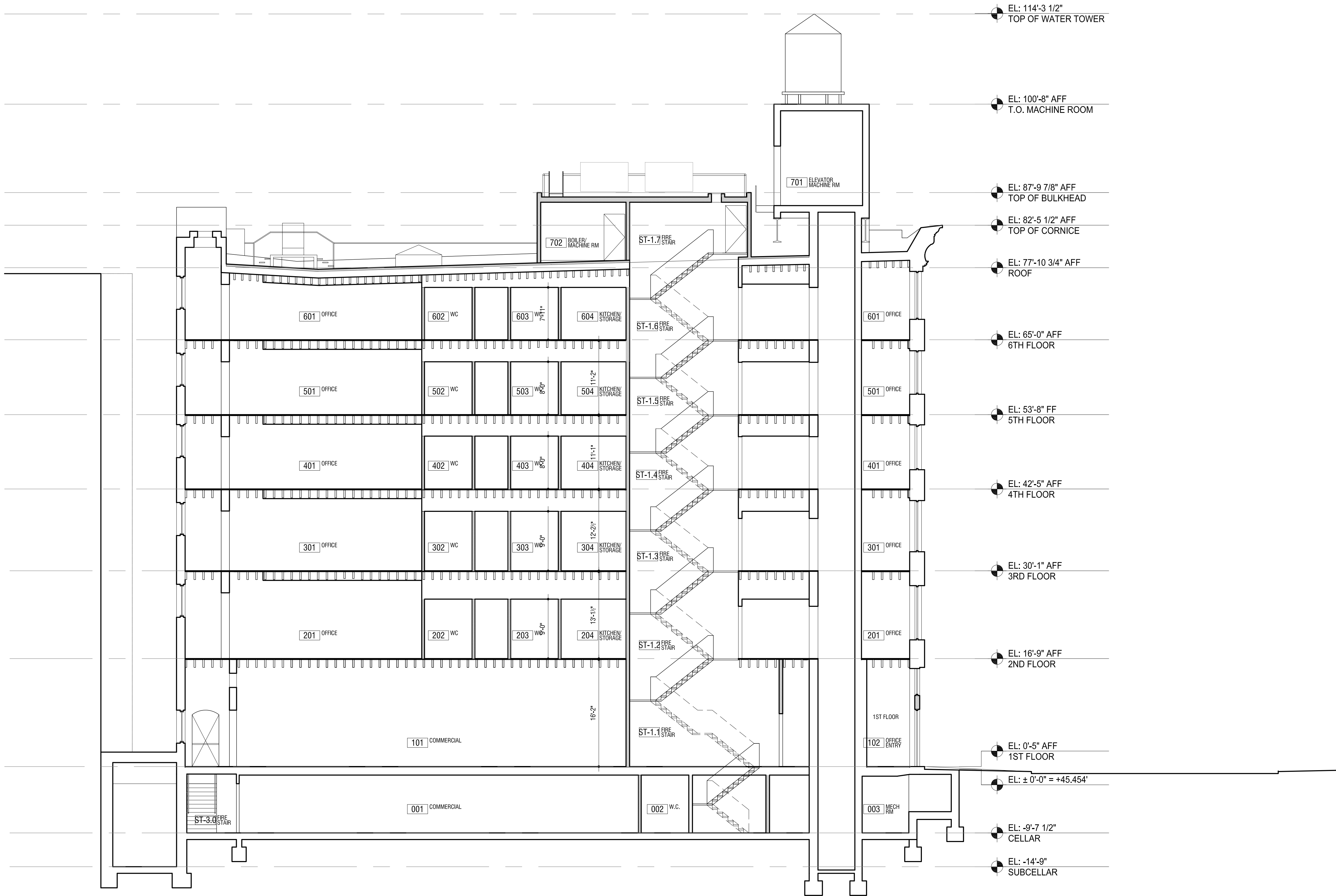
PROJECT:
0175
BOND STREET RENOVATION

31 Bond Street
New York, NY 10012

Date: April 30, 2017
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SEAL + SIGNATURE:


A-300.00
SHEET



- GENERAL NOTES:
- TOOTH IN NEW BRICK INFILL TO SURROUNDING BRICK
 - CLEAN AND REPOINT ENTIRE EXTERIOR NORTH FACADE MASONRY PER SECTION 2-14 OF THE NYC LANDMARKS PRESERVATION COMMISSION'S RULES
 - REPOINT AND REPAIR SOUTH EXTERIOR FACADES AS NECESSARY, MATCHING SURROUNDING BRICKS AND MORTAR IN COLOR, SIZE AND TEXTURE
 - REUSE BRICK FROM BUILDING INSTEAD OF NEW WHENEVER POSSIBLE.

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PROPOSED SECTION

PROJECT:
0175
BOND STREET RENOVATION
31 Bond Street
New York, NY 10012
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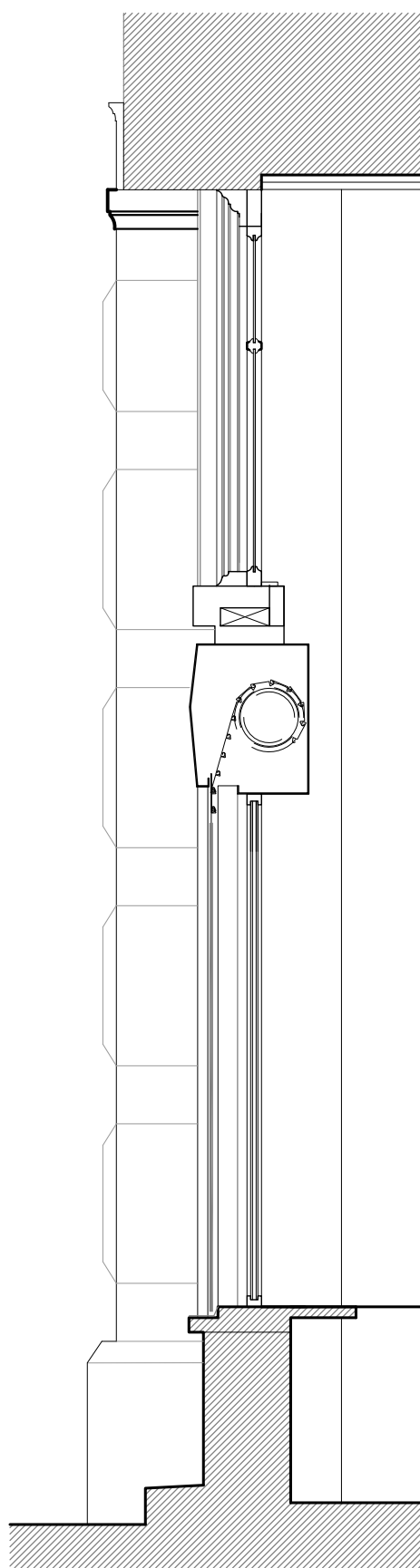
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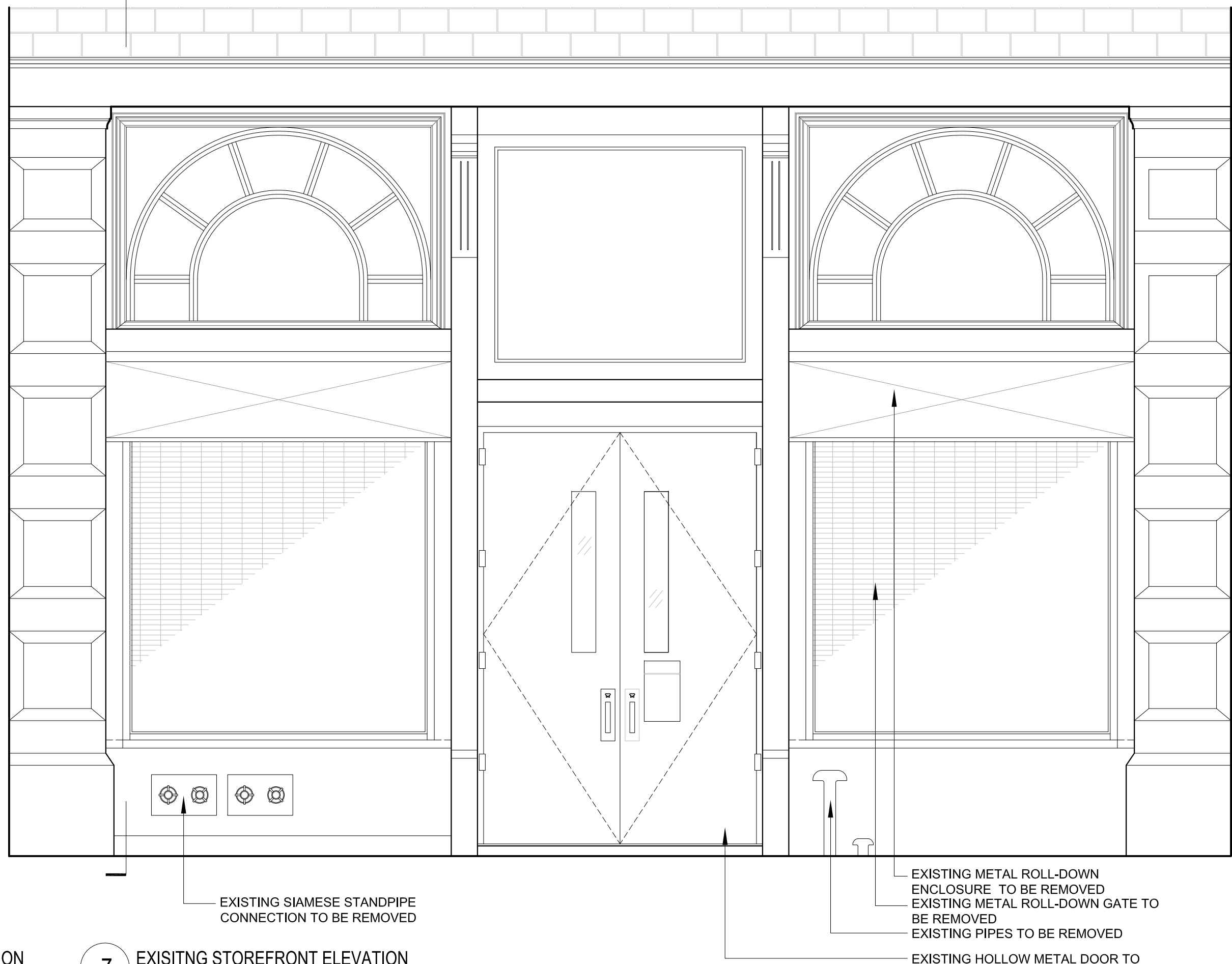
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SHEET

1 PROPOSED SECTION
1/8" = 1'-0"

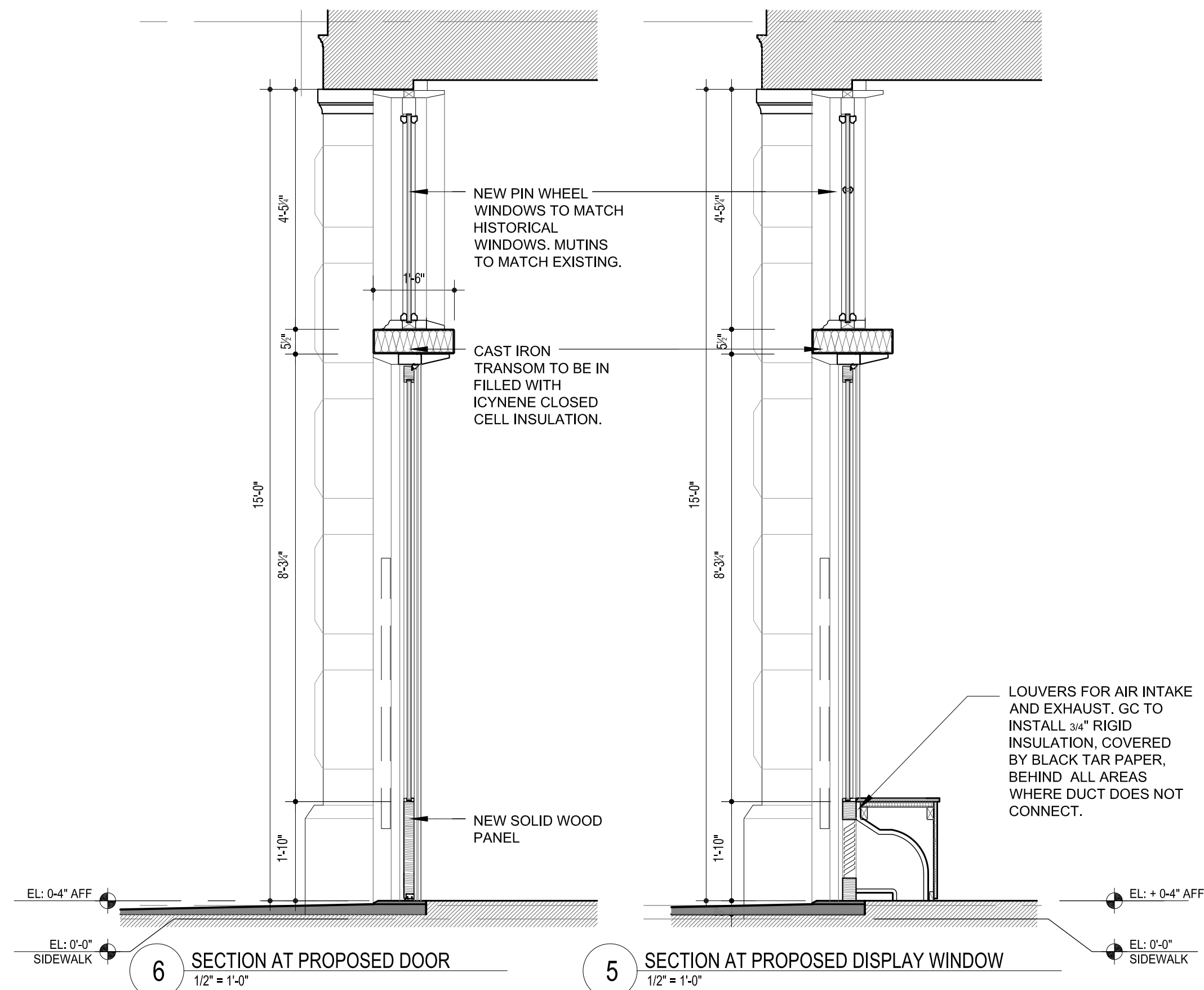


8 EXISTING STOREFRONT SECTION
1/2" = 1'-0"

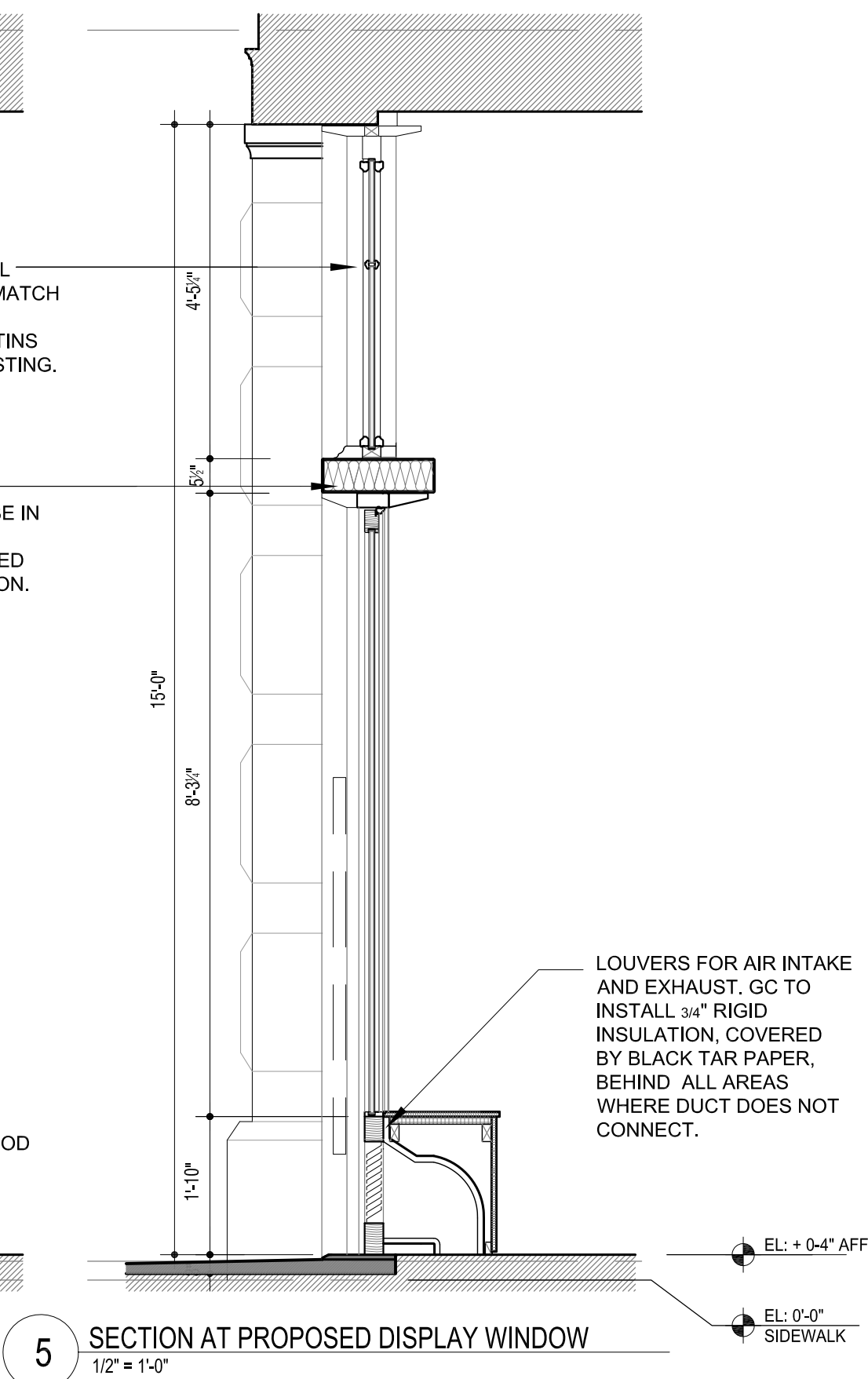


7 EXISTING STOREFRONT ELEVATION
1/2" = 1'-0"

- GENERAL NOTES:
- A. ALL EXISTING WINDOWS HAVE SINGLE PANE CLEAR GLASS.
 - B. ALL NEW GLASS TO BE ENERGY COMPLIANT IGU'S.
 - C. ALL SUBDIVISIONS TO BE TRU-DIVIDE.
 - D. PROTECT EXISTING BRICK FACADE TO REMAIN. RESTORATION IN SEPARATE STAFF LEVEL APPLICATION.
 - E. EXISTING CAST IRON COLUMNS TO REMAIN, BE PROTECTED & REPAINTED.
 - F. EXISTING BROWNSTONE FACADE TO REMAIN.
 - G. ALL NEW STOREFRONT ELEMENTS TO BE PAINTED SHERWIN WILLIAMS SW 6989 "DOMINO" AS PER THE "EXTERIOR FINISH INVESTIGATION".



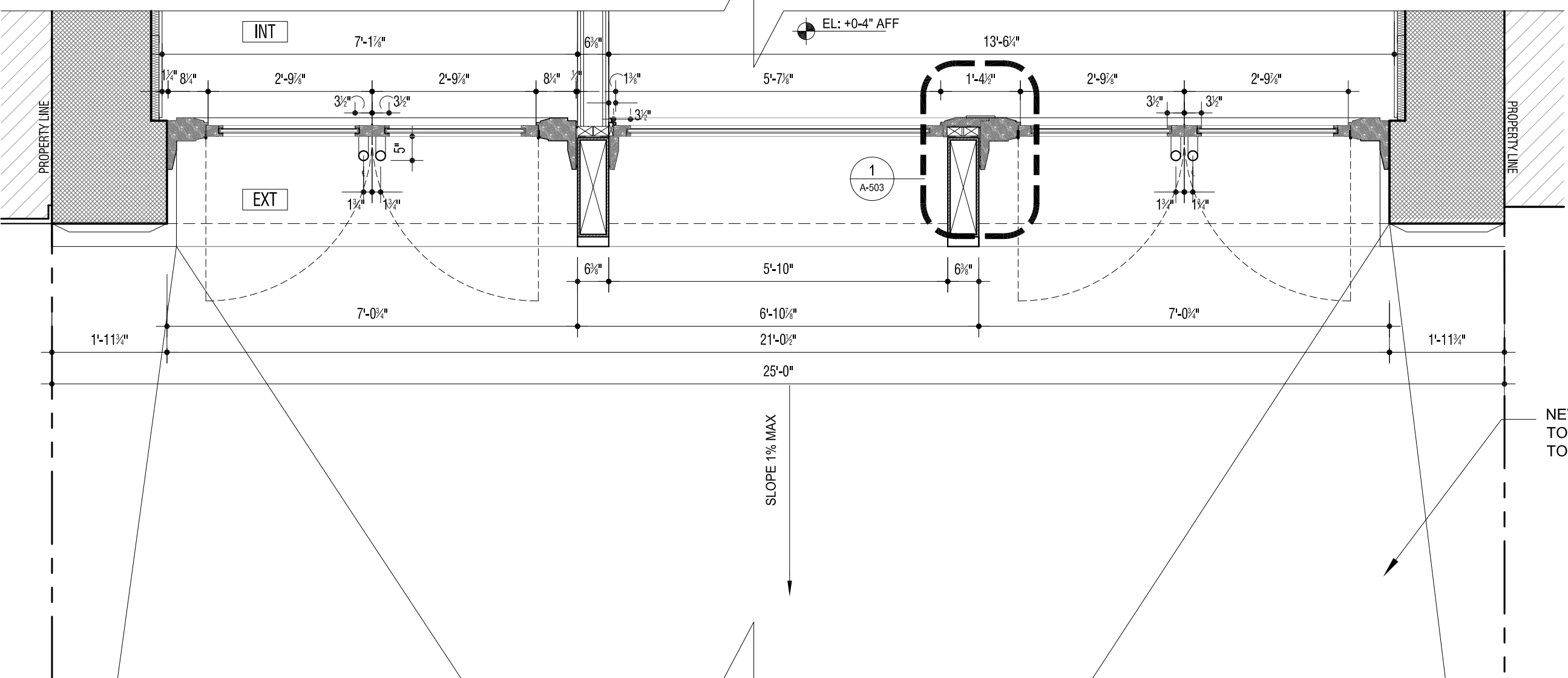
6 SECTION AT PROPOSED DOOR
1/2" = 1'-0"



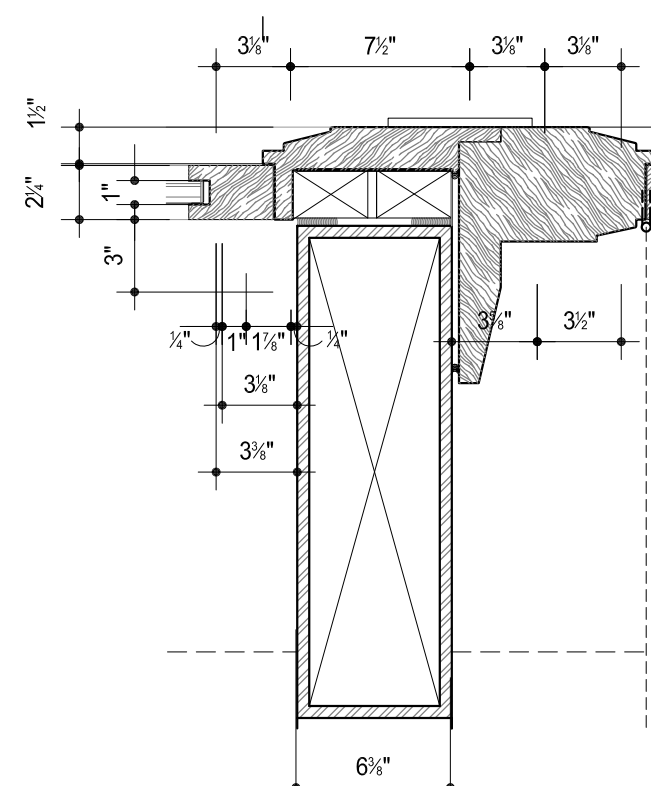
5 SECTION AT PROPOSED DISPLAY WINDOW
1/2" = 1'-0"



2 SAMPLE OF METALLIC DECAL FOR SIGNAGE
NTS.



3 PROPOSED STOREFRONT PLAN
1/2" = 1'-0"



1 DETAIL AT CAST IRON COLUMN
1 1/2" = 1'-0"



4 PROPOSED STOREFRONT ELEVATION
1/2" = 1'-0"

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STOREFRONT

PROJECT:
0175

BOND STREET RENOVATION

31 Bond Street
New York, NY 10012

Date: **SEP 30, 2017**
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