



## 46 MacDougal Street

LPC Presentation  
February 09, 2017



1940 Tax Photo



1970 Tax Photo

## 46 MacDougal Street

Borough of Manhattan Tax Map Block 518, Lot 5

<b>Date(s):</b>	c. 1826; altered 1875, 1914, 1969
<b>Architect(s):</b>	Not determined
<b>Owner / Developer:</b>	Not determined
<b>Type:</b>	Row house
<b>Style(s):</b>	Federal with alterations
<b>Stories:</b>	3
<b>Material(s):</b>	Brick; metal
<b>Status:</b>	Contributing

### History, Significance and Notable Characteristics

This building, built c. 1826, was constructed of brick laid in Flemish bond, appears to have originally been two stories with a basement and attic. In 1875, under the ownership of George Clipp, the building was raised a half story, its peaked roof was replaced with a flat roof, and a metal cornice was added. In 1914, the Nervo & Balbiani Co. hired the architect Frank E. Vitolo to alter 46 and 48 MacDougal Street in order to accommodate a bakery with stores at the first story. The existing first floor was removed and a new fireproof floor was built. In 1969, the building was altered to be used as a commercial art gallery and single-family dwelling. The building features metal sills and lintels, a storefront cornice with modillions, and a bracketed cornice with a paneled frieze. The building's first floor has mostly been restored to its appearance in the c. 1940 tax photo. Historic cast-iron piers at the first story remain.

### Alterations

Main Facade (West, facing MacDougal Street): Painted; non-historic windows, doors, and transoms at first story, but they largely match the historic configuration; camera, light fixture, electrical boxes, faucet, address number, and vent at first story; upper-story windows replaced

### Site

Hatch








### Sidewalk / Curb Materials

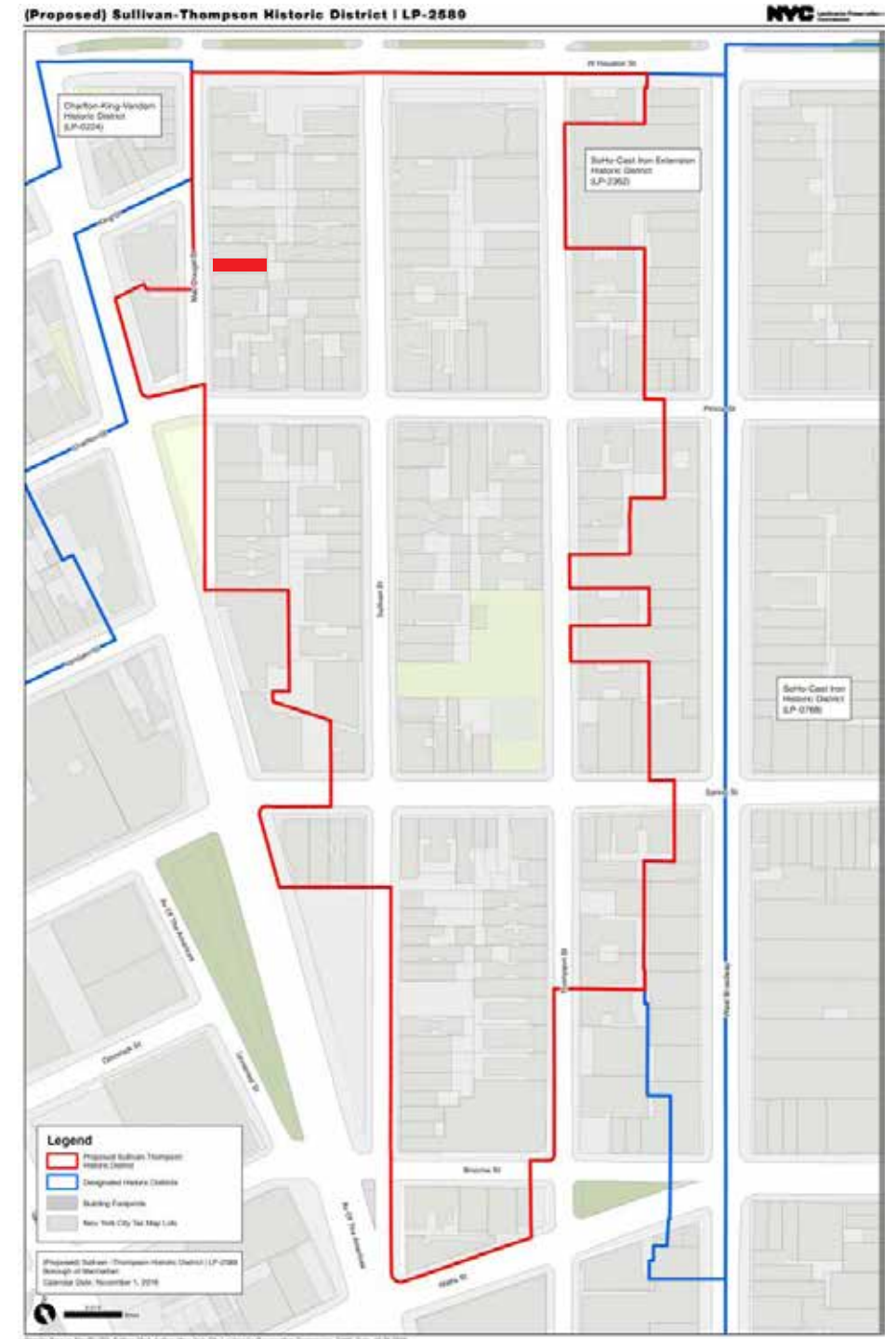
Concrete with concrete curb and steel cap

### References

Department of Buildings, Alteration applications (Alt 1091-1875, Alt 3268-1914, Alt 788-1969)



LEGEND	
	5+ STORIES
	4 STORIES
	3 STORIES
	1-2 STORIES
	PROPOSED EXTENSION
	PROPERTY LINE
	SULLIVAN - THOMPSON HISTORIC DISTRICT



**46 MacDougal**  
Block 518  
Lot 5 →



LEGEND	
<span style="display:inline-block; width:15px; height:10px; background-color:darkblue;"></span> 5+ STORIES	<span style="display:inline-block; width:15px; height:10px; border-bottom:1px dashed black;"></span> PROPOSED EXTENSION
<span style="display:inline-block; width:15px; height:10px; background-color:red;"></span> 4 STORIES	<span style="display:inline-block; width:15px; height:10px; border:1px dashed black;"></span> PROPERTY LINE
<span style="display:inline-block; width:15px; height:10px; background-color:lightblue;"></span> 3 STORIES	<span style="display:inline-block; width:15px; height:10px; border-bottom:1px solid red;"></span> SULLIVAN - THOMPSON HISTORIC DISTRICT
<span style="display:inline-block; width:15px; height:10px; background-color:yellow;"></span> 1-2 STORIES	





- Scale of buildings on MacDougal St. vary widely in style and bulk.



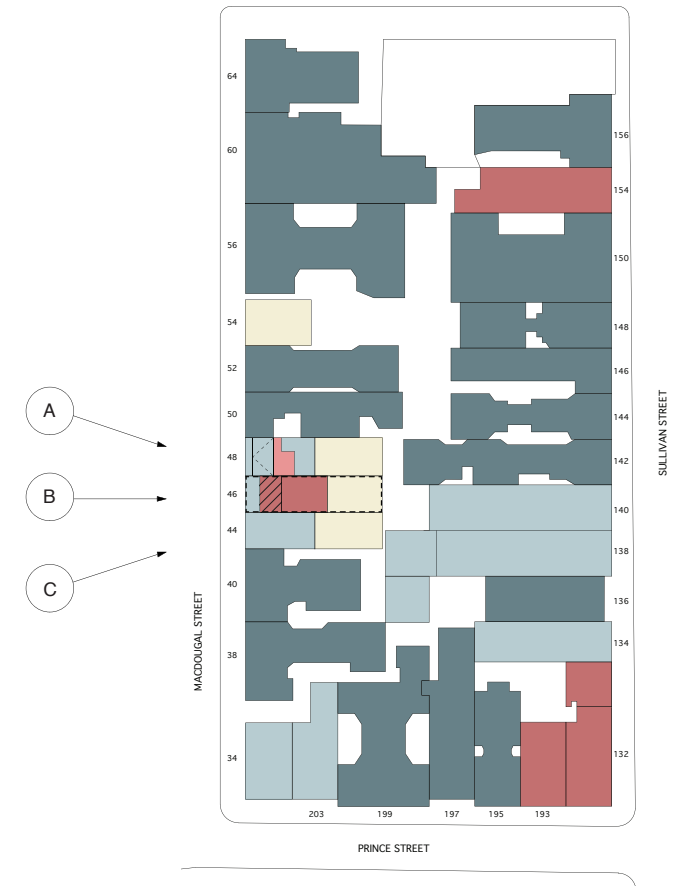


**Designation Photo - November 2016**  
- Rooftop green wall removed for asbestos abatement



**LPC Photo - August, 22 2016**









- A** Ground Floor Entry
- B** Entry Door
- C** Cast Iron Column (North)
- D** Cast Iron Column (South)

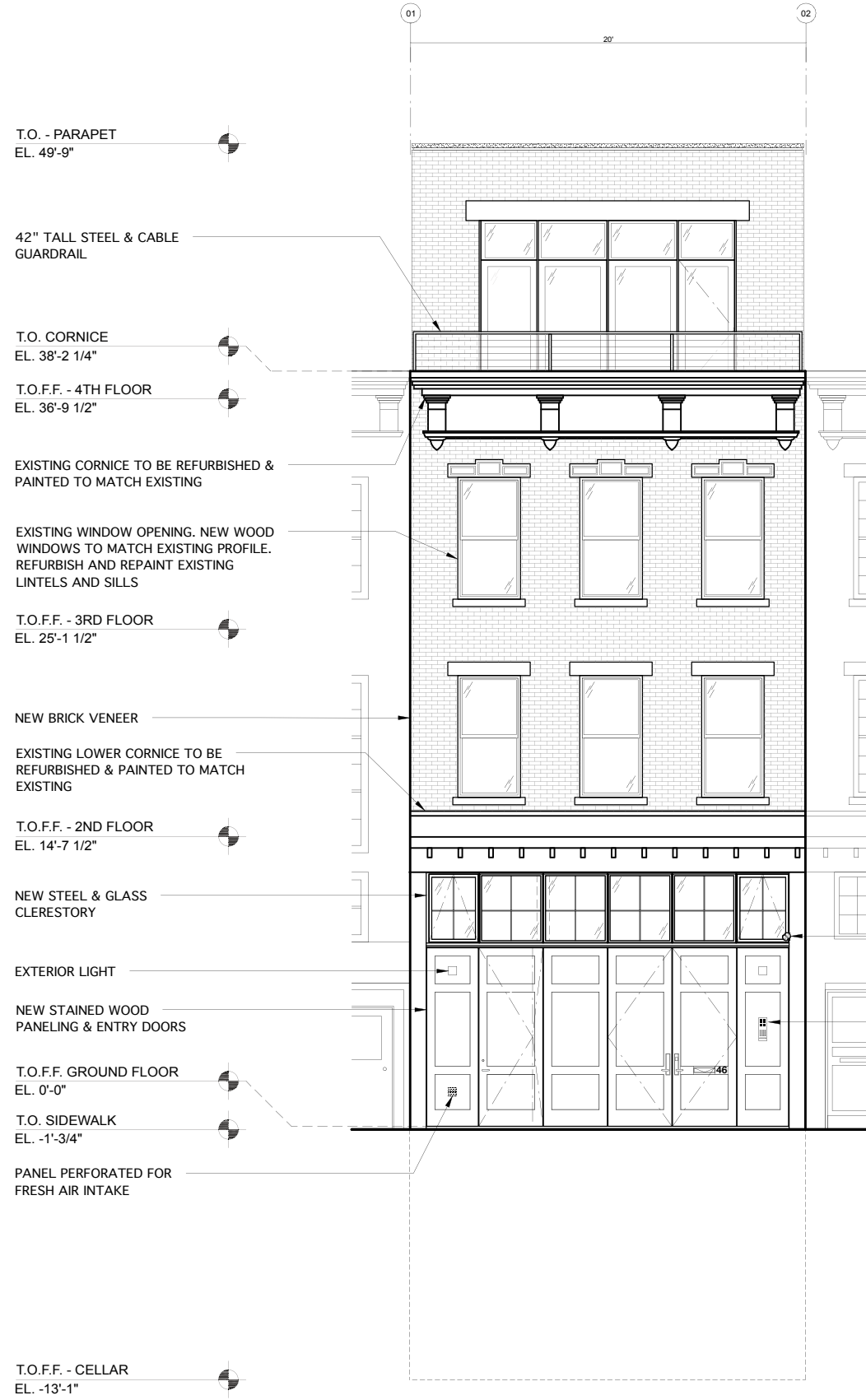




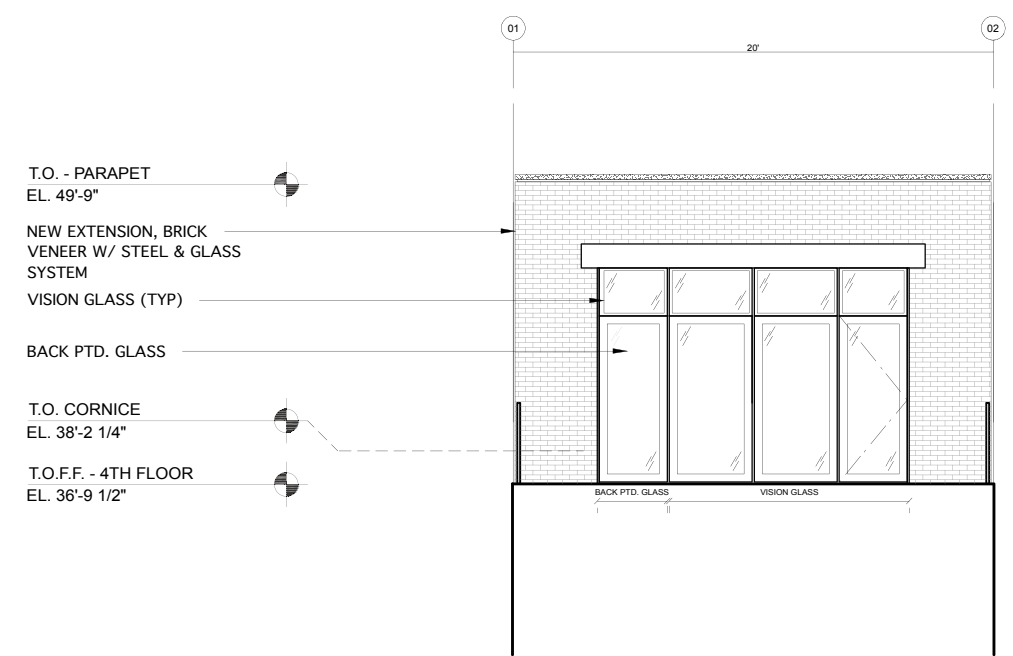
- A Street Facade
- B Cornice



**EXISTING STREET ELEVATION**



**PROPOSED STREET ELEVATION**







127 MacDougal St



54 MacDougal St  
(Demolished)



113 Thompson St



193 Spring St



81 Sullivan St

- Townhouses located in Sullivan-Thompson Historic District with One-over-One windows







**EXISTING 4TH FLOOR ELEVATION**



**PROPOSED 4TH FLOOR ELEVATION**





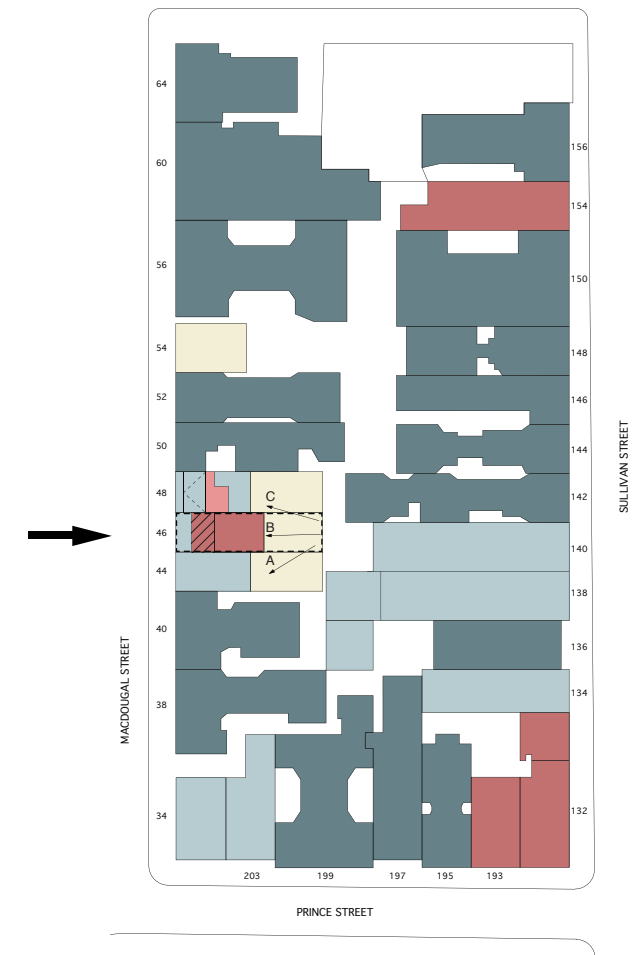
A - 44 MacDougal



B - 46 MacDougal



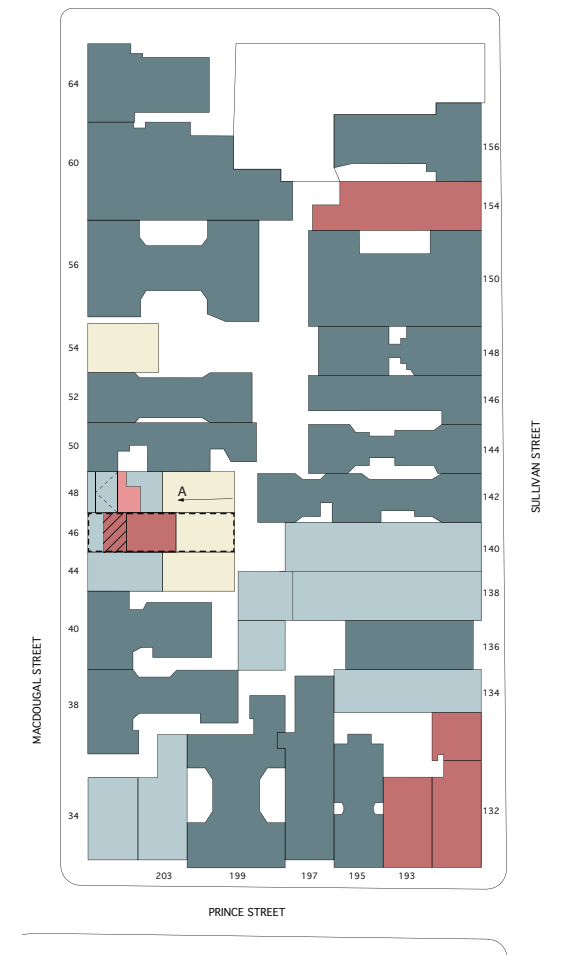
C - 48 MacDougal







A - 48 MacDougal







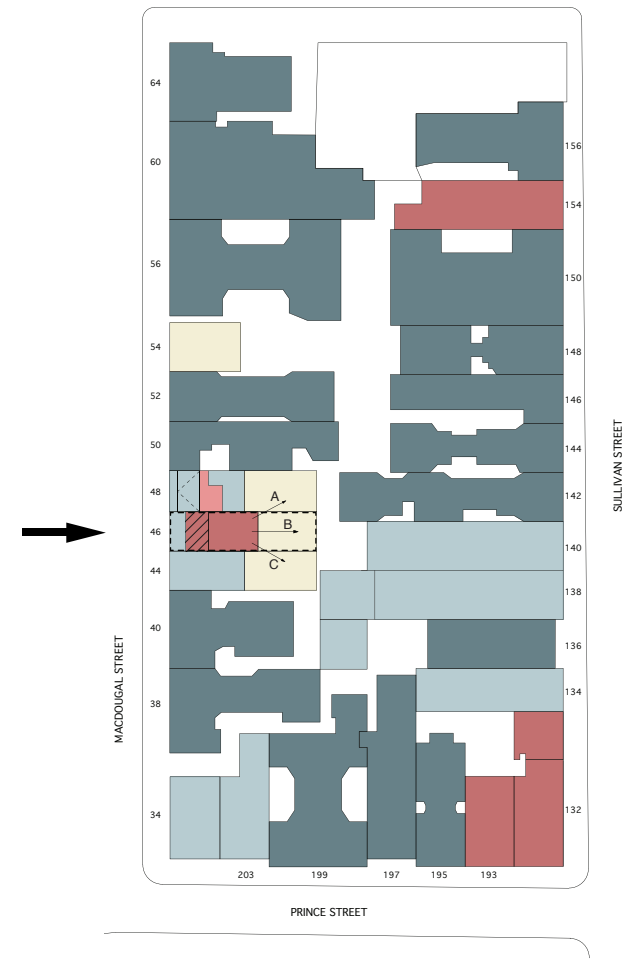
A - 48 MacDougal



B - 46 MacDougal



C - 44 MacDougal







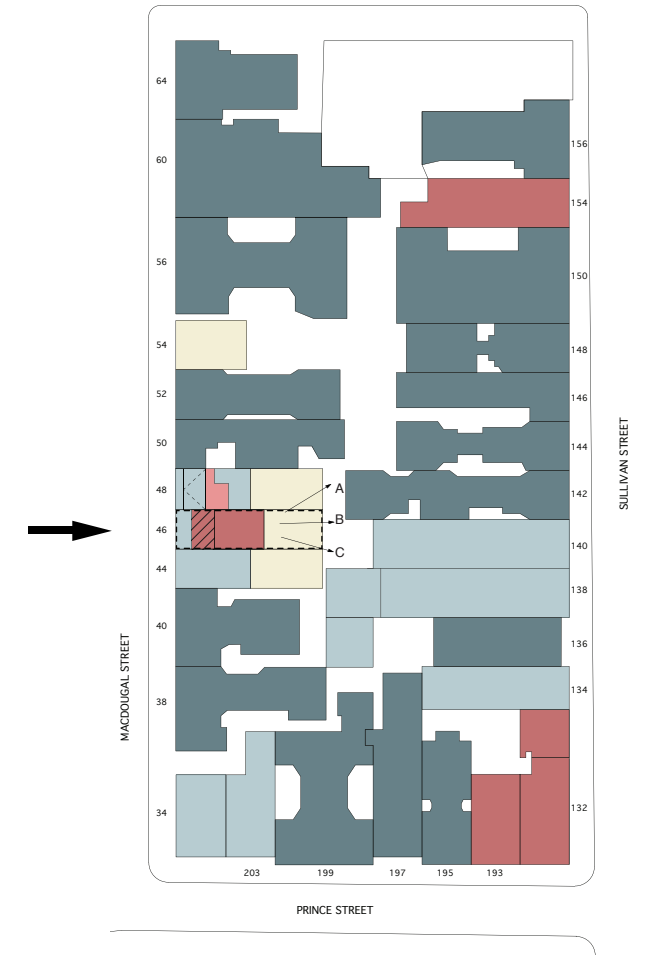
A - 142 Sullivan



B - 140 Sullivan



C - 138 Sullivan







MacDougal St - View Facing WEST



Rear Yard - View Facing EAST



T.O. - PARAPET  
EL. 51'-7"

T.O.F.F. - 4TH FLOOR  
EL. 37'-1"

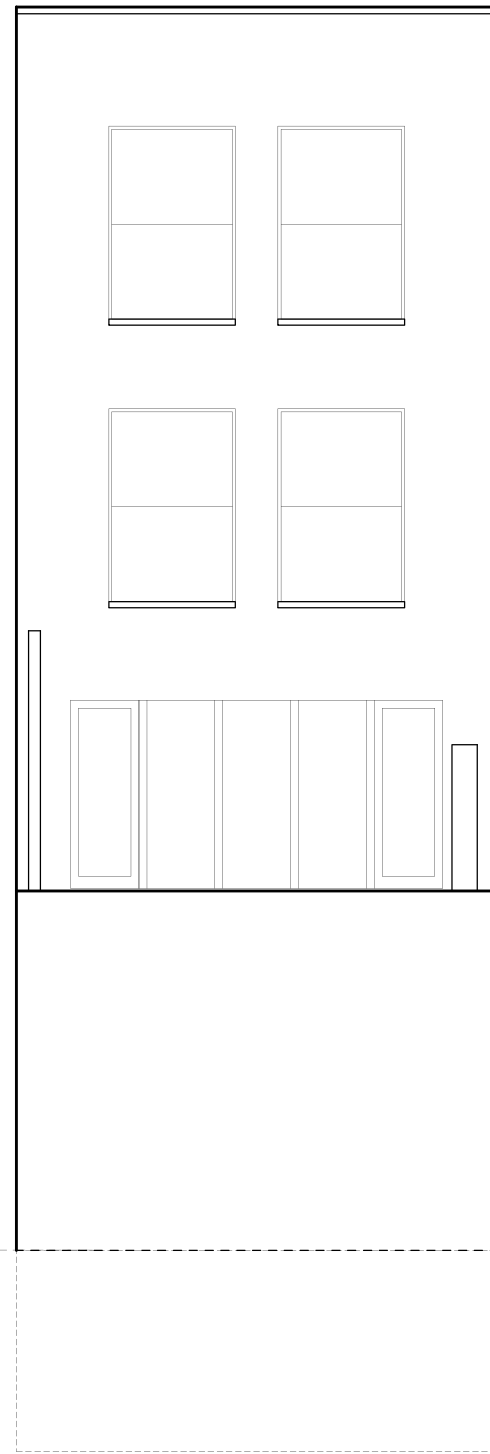
T.O.F.F. - 3RD FLOOR  
EL. 25'-1 3/4"

T.O.F.F. - 2ND FLOOR  
EL. 14'-5"

T.O.F.F. GROUND FLOOR  
EL. 0'-0"

T.O. SIDEWALK  
EL. -1'-3/4"

T.O.F.F. - CELLAR  
EL. -8'-3/4"



**EXISTING REAR ELEVATION**

T.O. - PARAPET  
EL. 49'-9"

T.O. CORNICE  
EL. 38'-2 1/4"

T.O.F.F. - 4TH FLOOR  
EL. 36'-9 1/2"

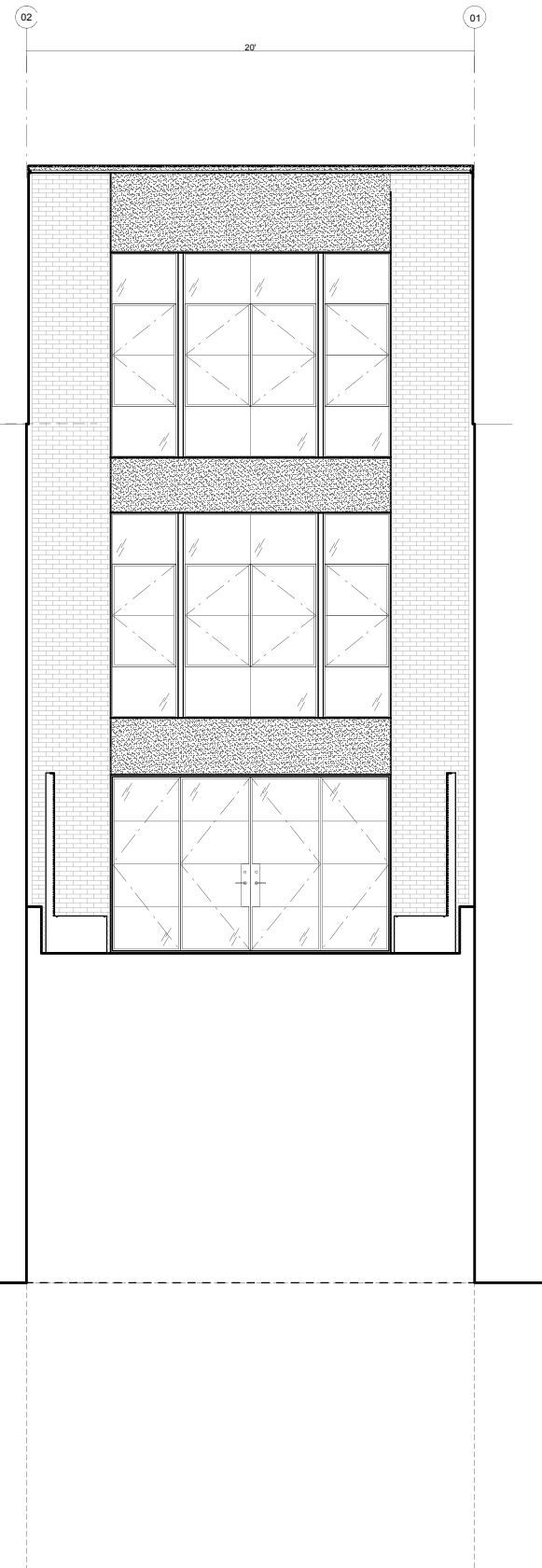
T.O.F.F. - 3RD FLOOR  
EL. 25'-1 1/2"

T.O.F.F. - 2ND FLOOR  
EL. 14'-7 1/2"

T.O.F.F. GROUND FLOOR  
EL. 0'-0"

T.O. SIDEWALK  
EL. -1'-3/4"

T.O.F.F. - CELLAR  
EL. -13'-1"

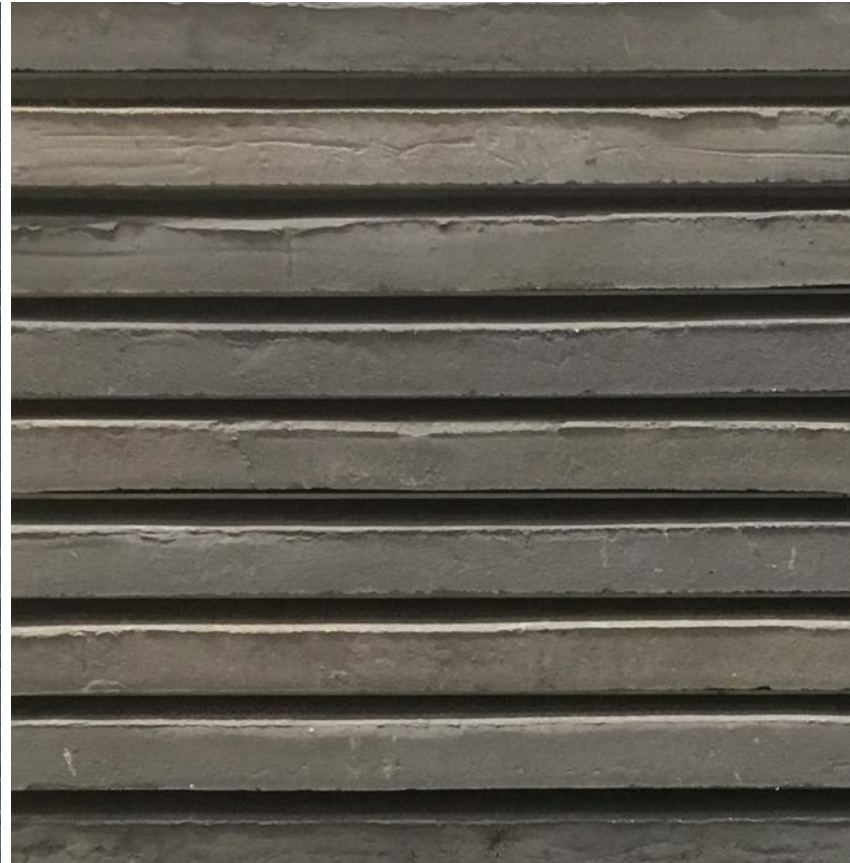


**PROPOSED REAR ELEVATION**



**Stone  
Absolute Black**

Rear Facade Stone Lintel  
Coping



**Brick  
Petersen**

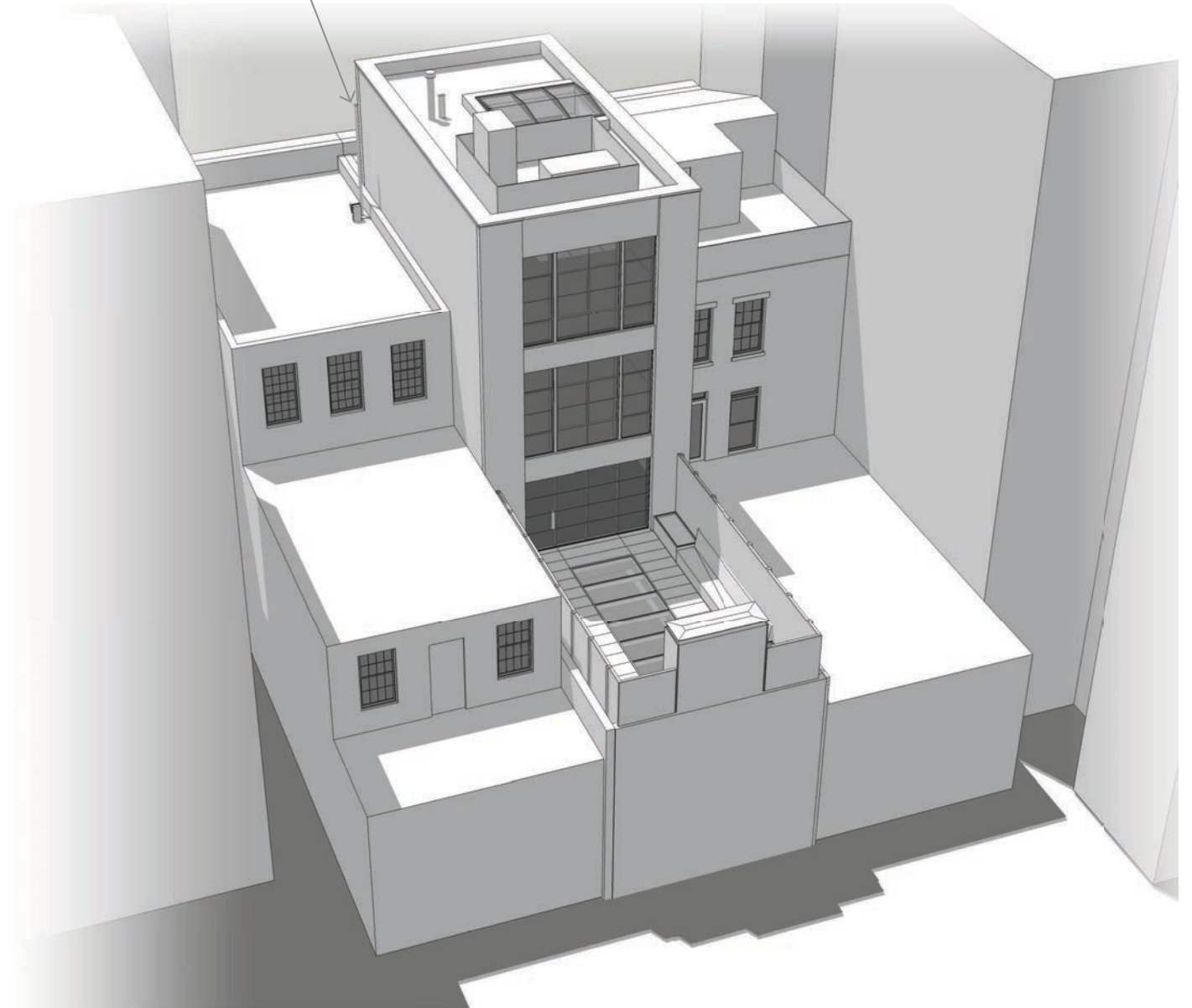
Finish to Match  
Flemish Bond



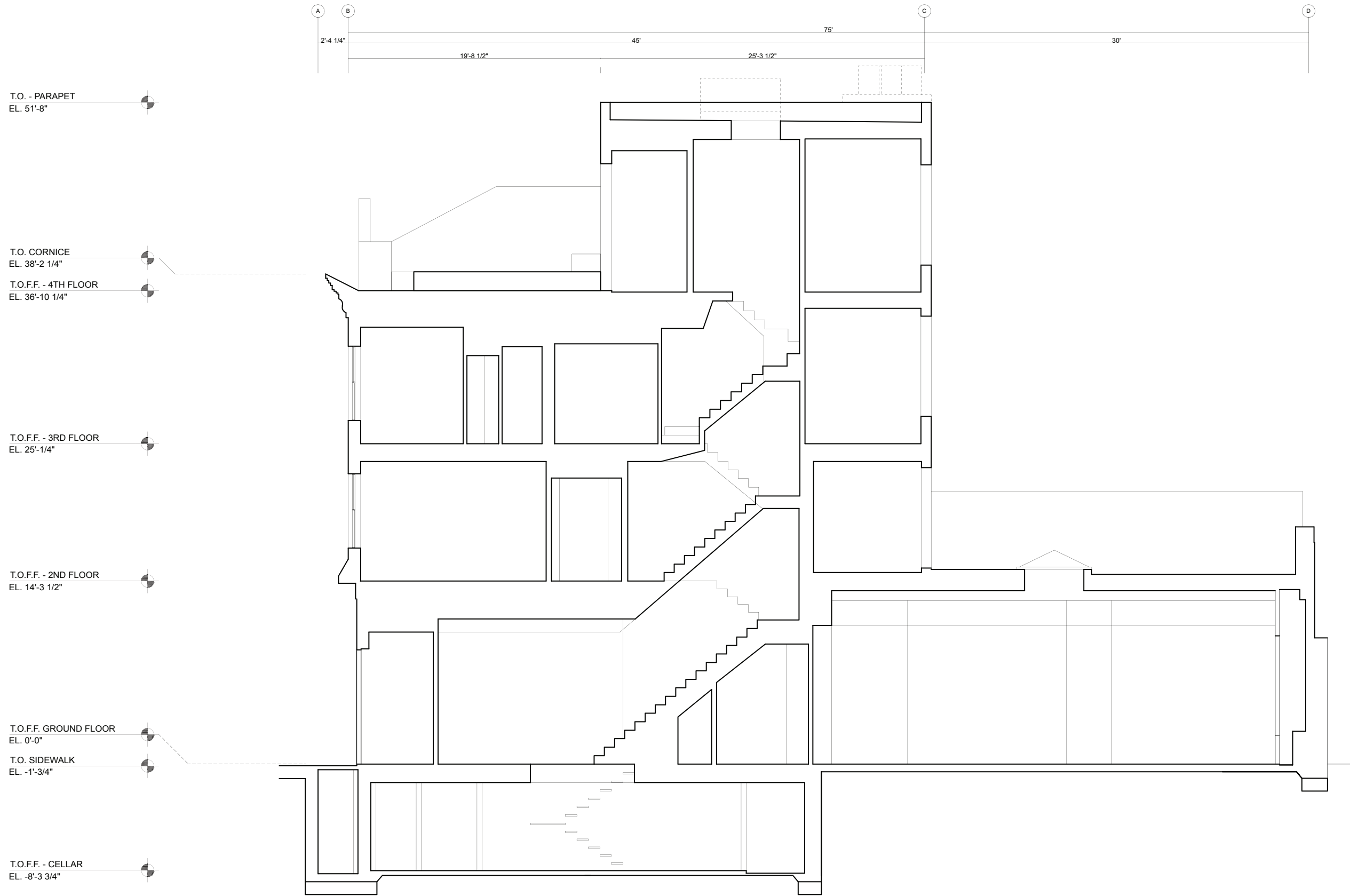
NEIGHBORING VENT TO BE EXTENDED  
(3') ABOVE 4TH FLOOR TERRACE DOOR



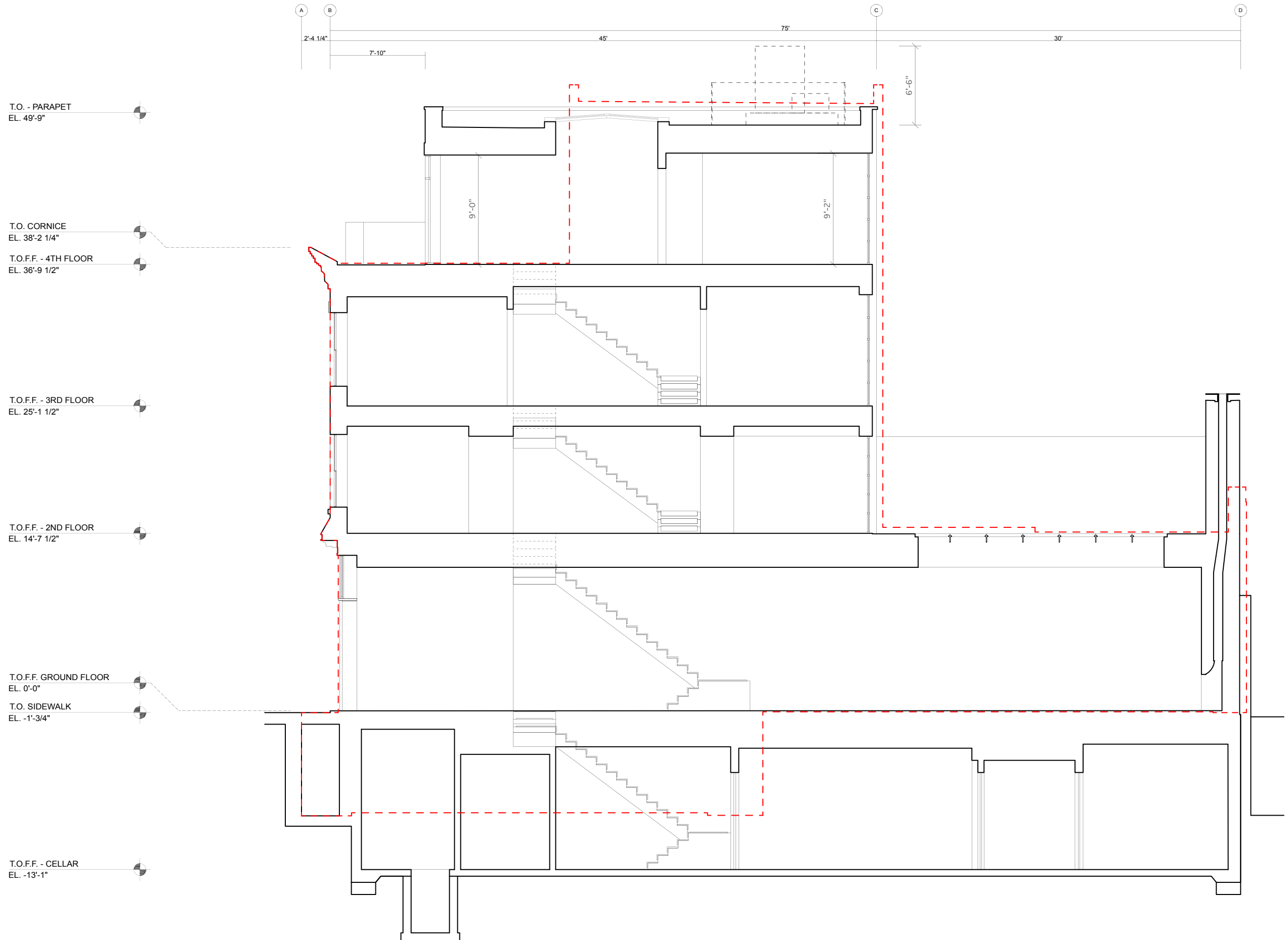
EXISTING REAR FACADE AXON



PROPOSED REAR FACADE AXON







T.O. - PARAPET  
EL. 49'-9"

T.O. CORNICE  
EL. 38'-2 1/4"  
T.O.F.F. - 4TH FLOOR  
EL. 36'-9 1/2"

T.O.F.F. - 3RD FLOOR  
EL. 25'-1 1/2"

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EL. 14'-7 1/2"

T.O.F.F. GROUND FLOOR  
EL. 0'-0"  
T.O. SIDEWALK  
EL. -1'-3/4"

T.O.F.F. - CELLAR  
EL. -13'-1"





























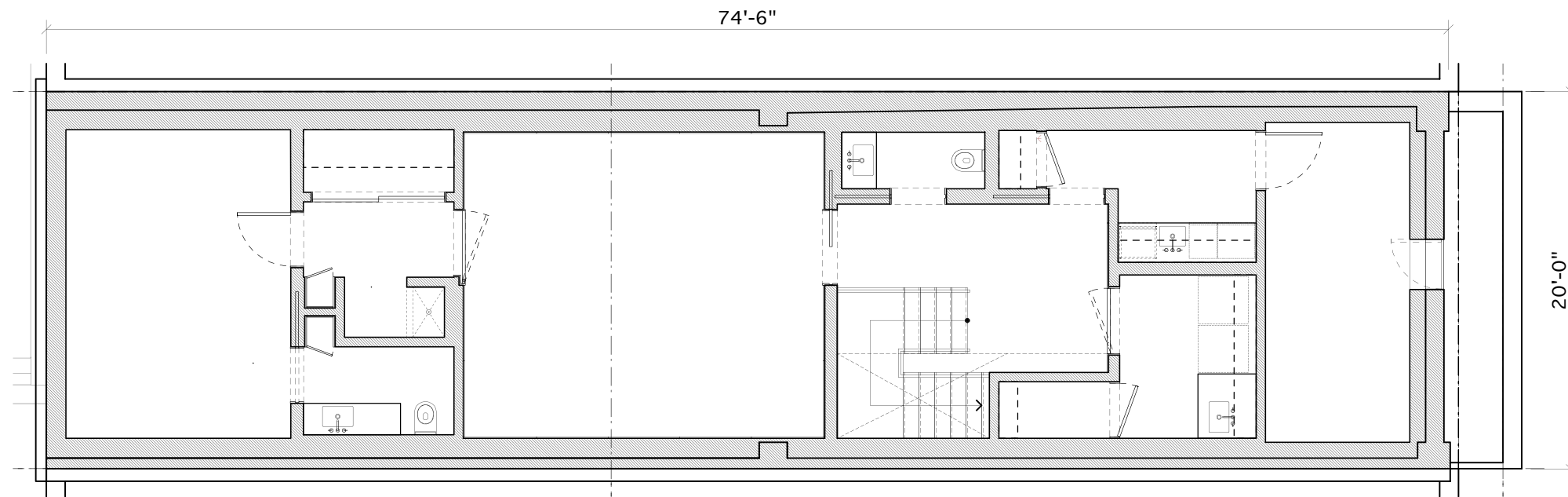




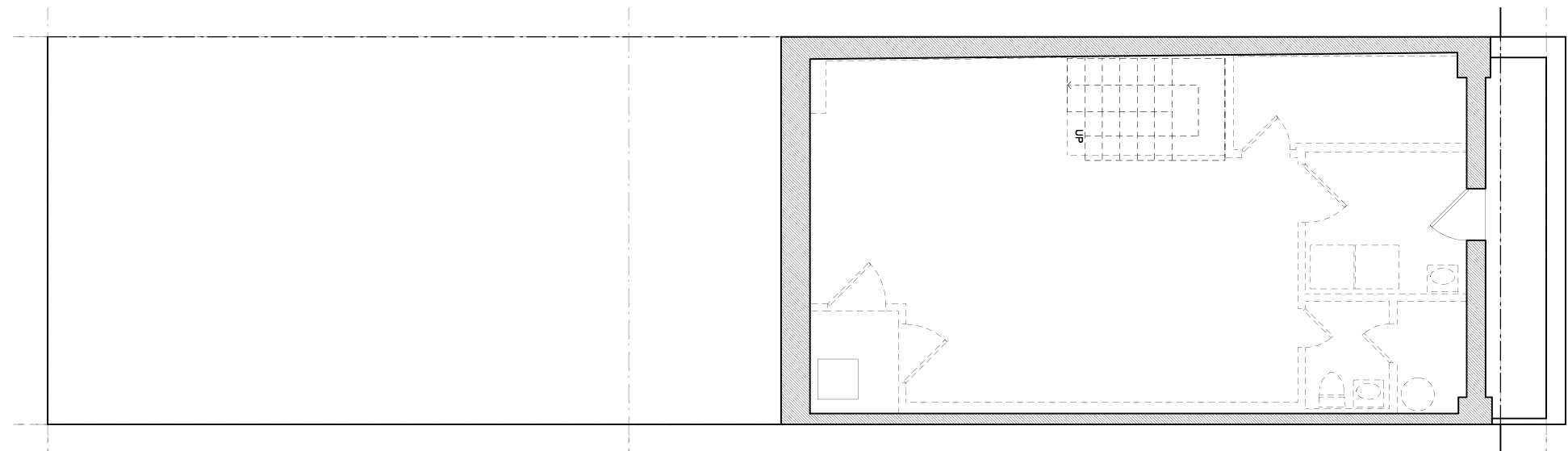
**STREET ELEVATION**  
August 22, 2016 (Pre Designation)



**PROPOSED STREET ELEVATION**

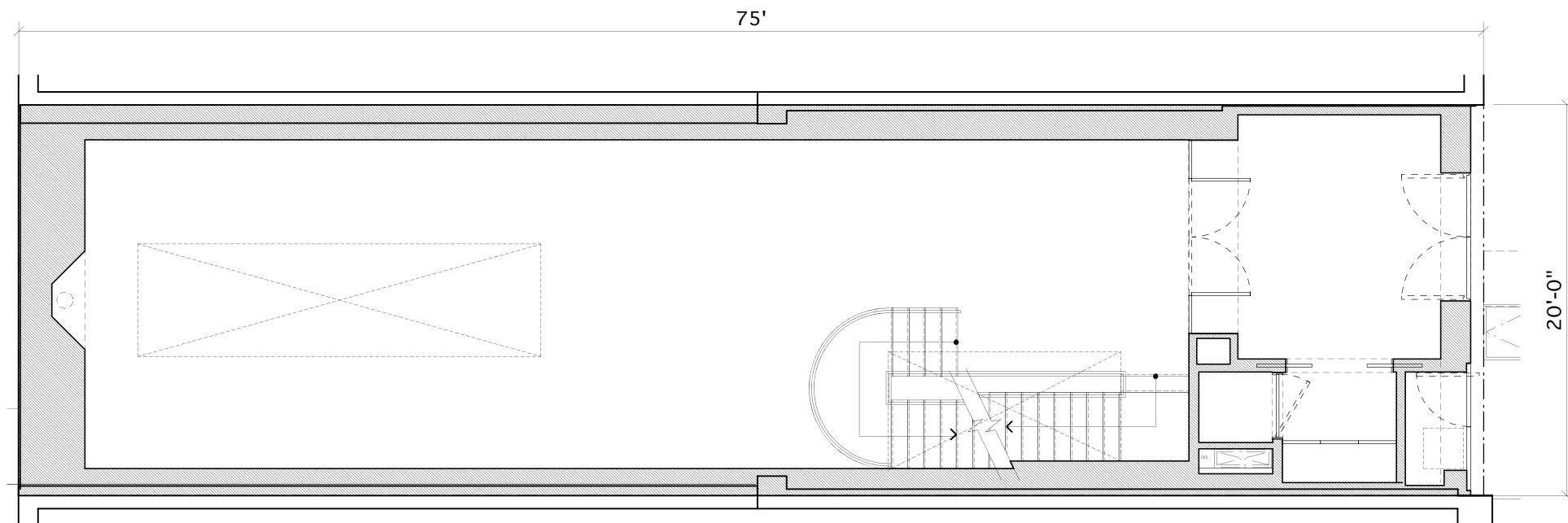


**02** PROPOSED FLOOR PLAN - CELLAR  
 1/8" = 1'-0"

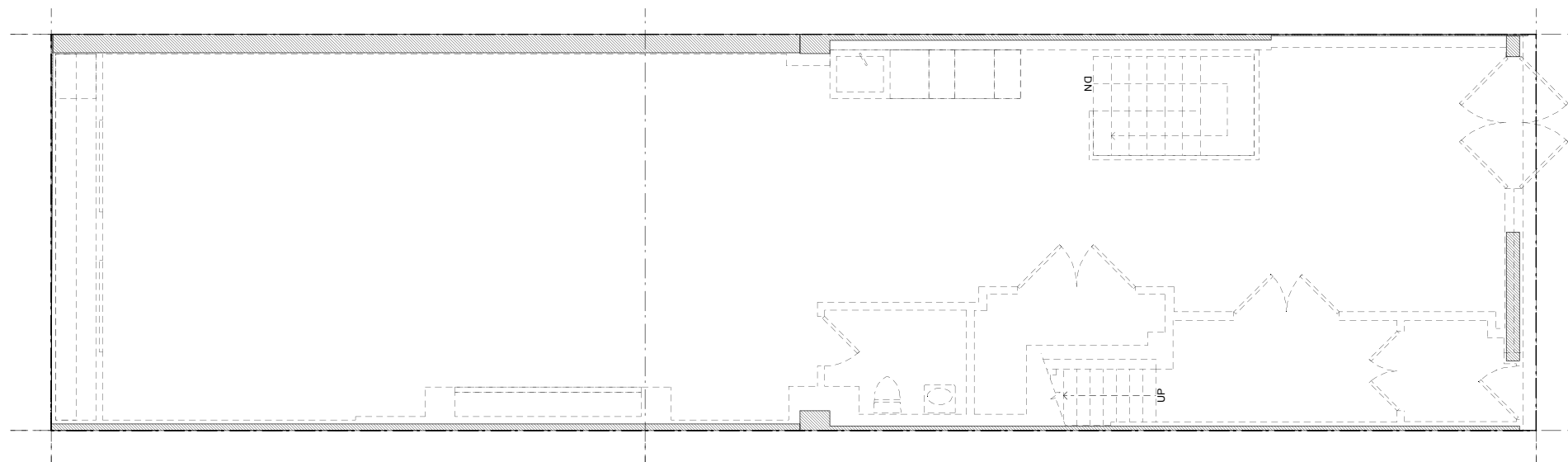


**01** EXISTING FLOOR PLAN - CELLAR  
 1/8" = 1'-0"



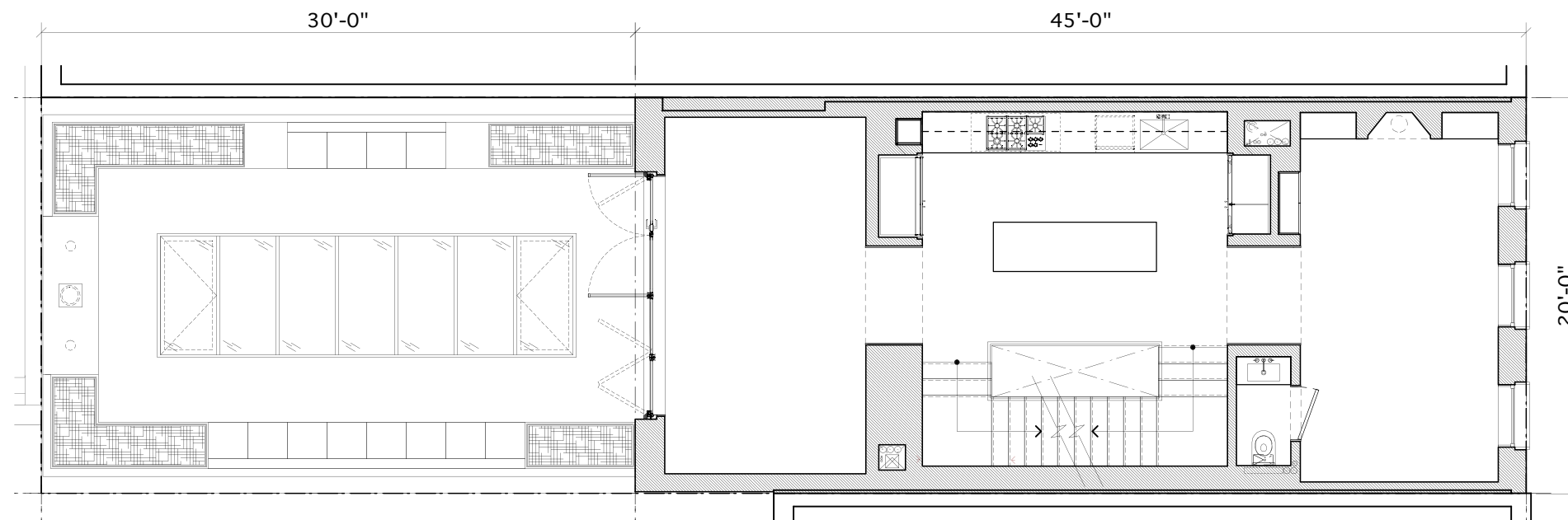


**02** PROPOSED FLOOR PLAN - 1ST FLOOR  
 1/8" = 1'-0"

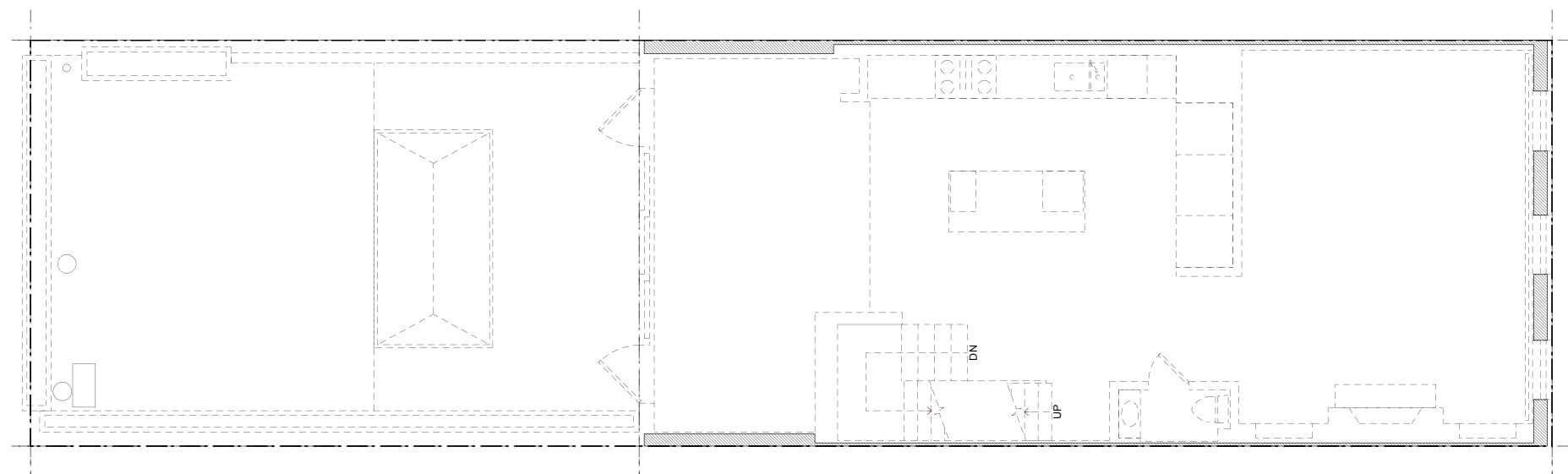


**01** EXISTING FLOOR PLAN - 1ST FLOOR  
 1/8" = 1'-0"



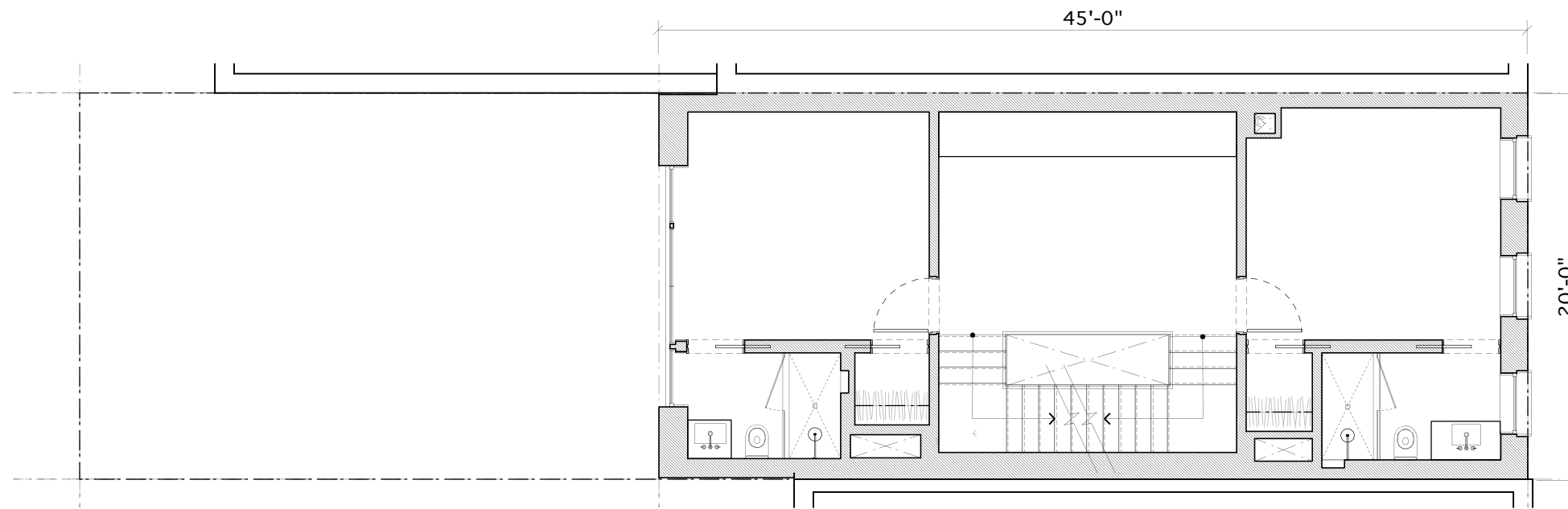


**02** PROPOSED FLOOR PLAN - 2ND FLOOR  
 1/8" = 1'-0"

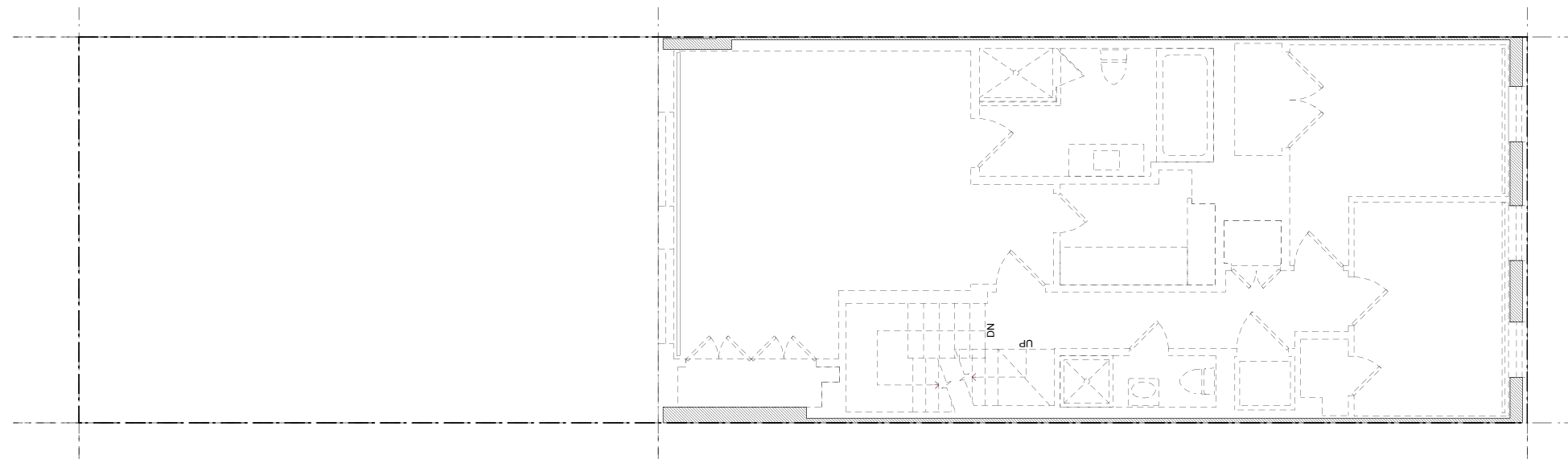


**01** EXISTING FLOOR PLAN - 2ND FLOOR  
 1/8" = 1'-0"



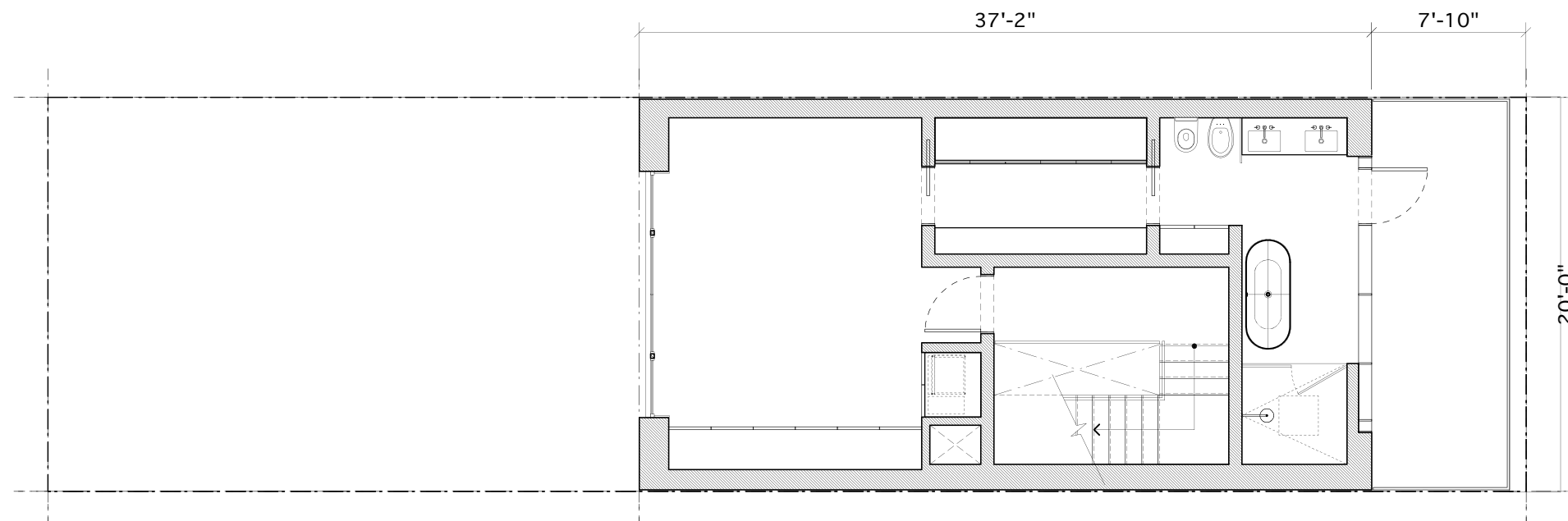


**02** PROPOSED FLOOR PLAN - 3RD FLOOR  
 1/8" = 1'-0"

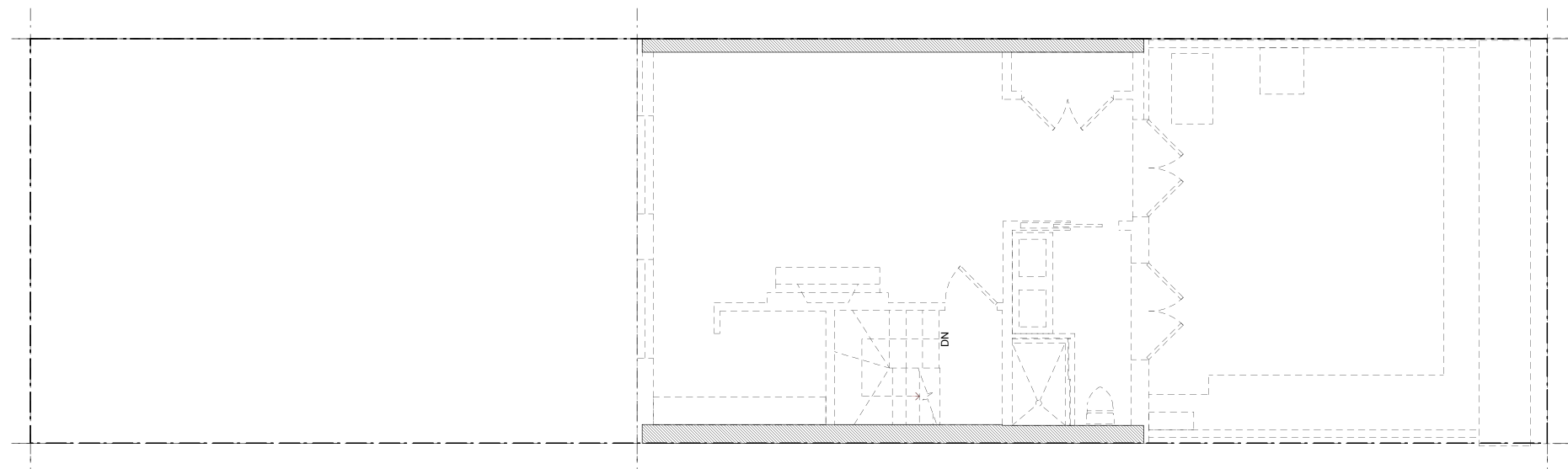


**01** EXISTING FLOOR PLAN - 3RD FLOOR  
 1/8" = 1'-0"



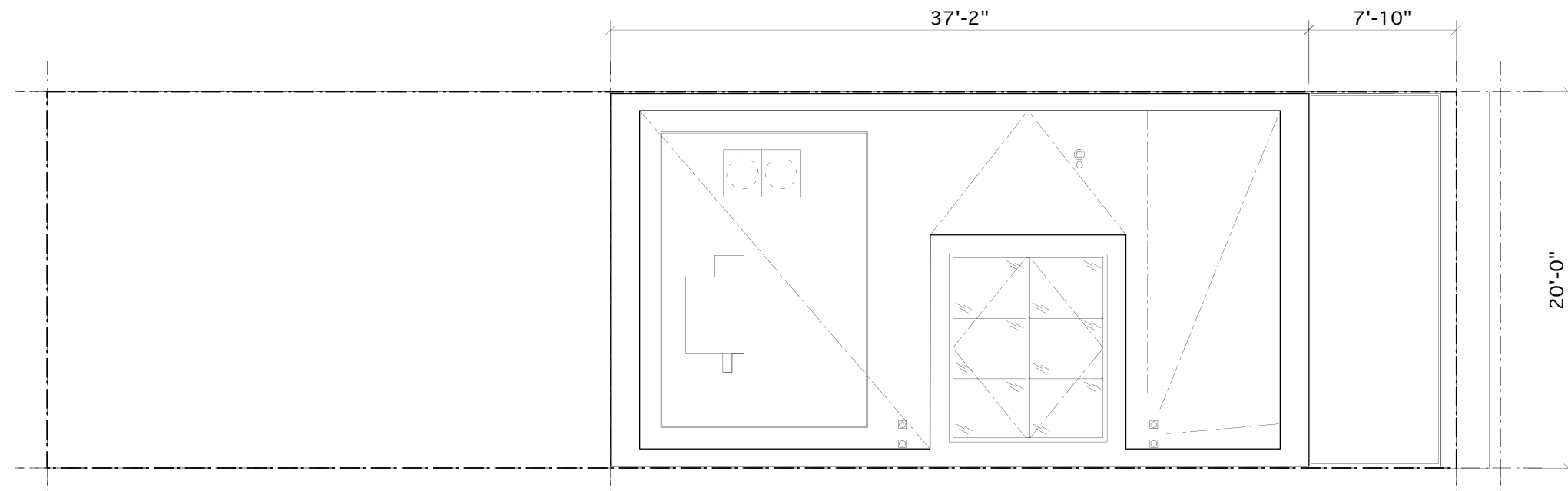


**02** PROPOSED FLOOR PLAN - 4TH FLOOR  
 1/8" = 1'-0"

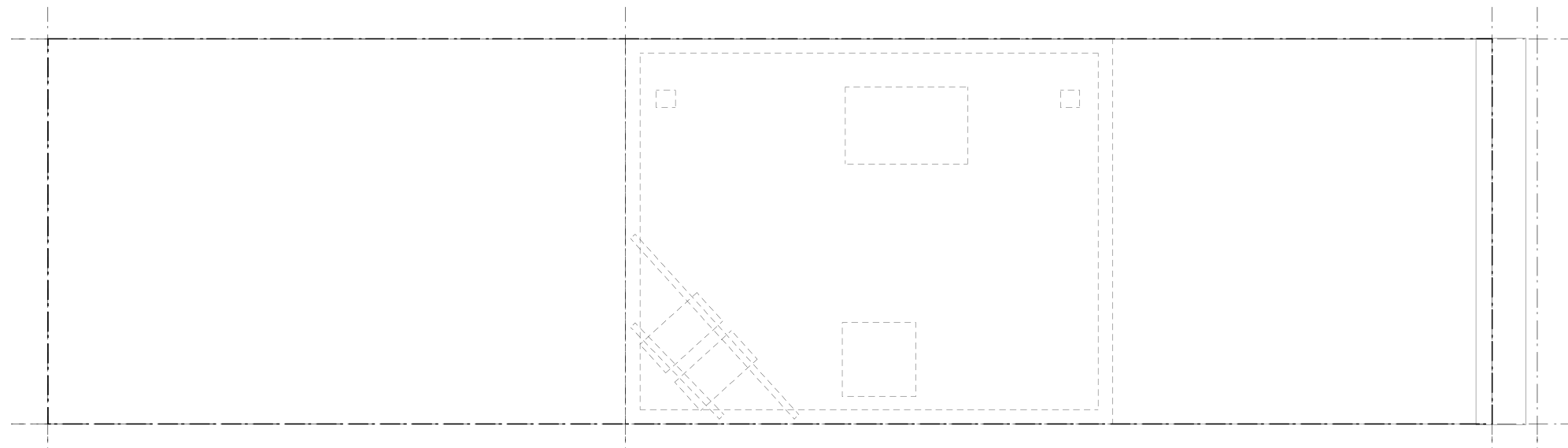


**01** EXISTING FLOOR PLAN - 4TH FLOOR  
 1/8" = 1'-0"





**02** PROPOSED FLOOR PLAN - ROOF  
 1/8" = 1'-0"



**01** EXISTING FLOOR PLAN - ROOF  
 1/8" = 1'-0"