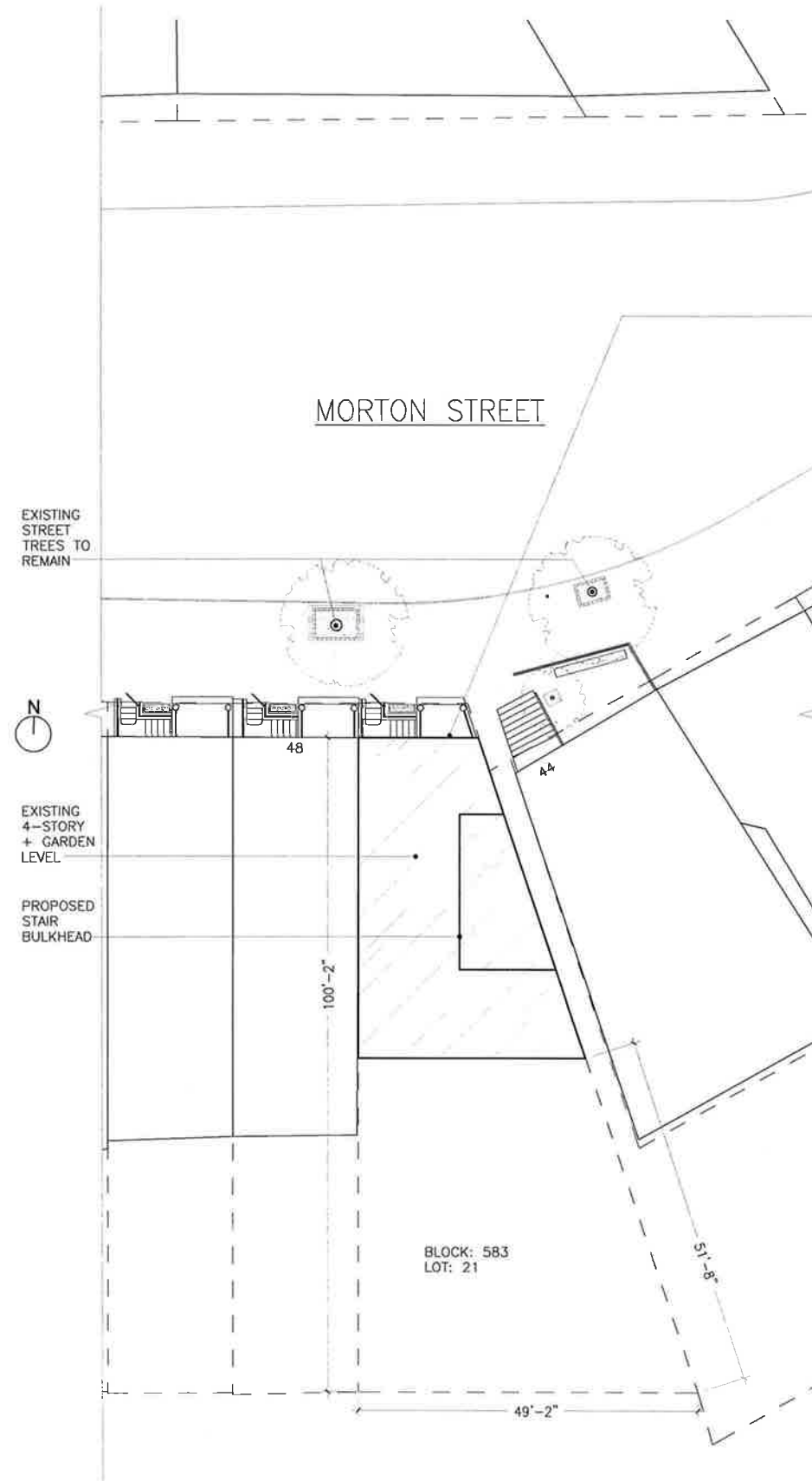




TAX PHOTO: 1940s

**LANDMARKS & PUBLIC AESTHETICS COMMITTEE MEETING
COMMUNITY BOARD #2, MANHATTAN
MONDAY, NOVEMBER 16TH 2015**

**46 MORTON STREET
NEW YORK, NY 10014**



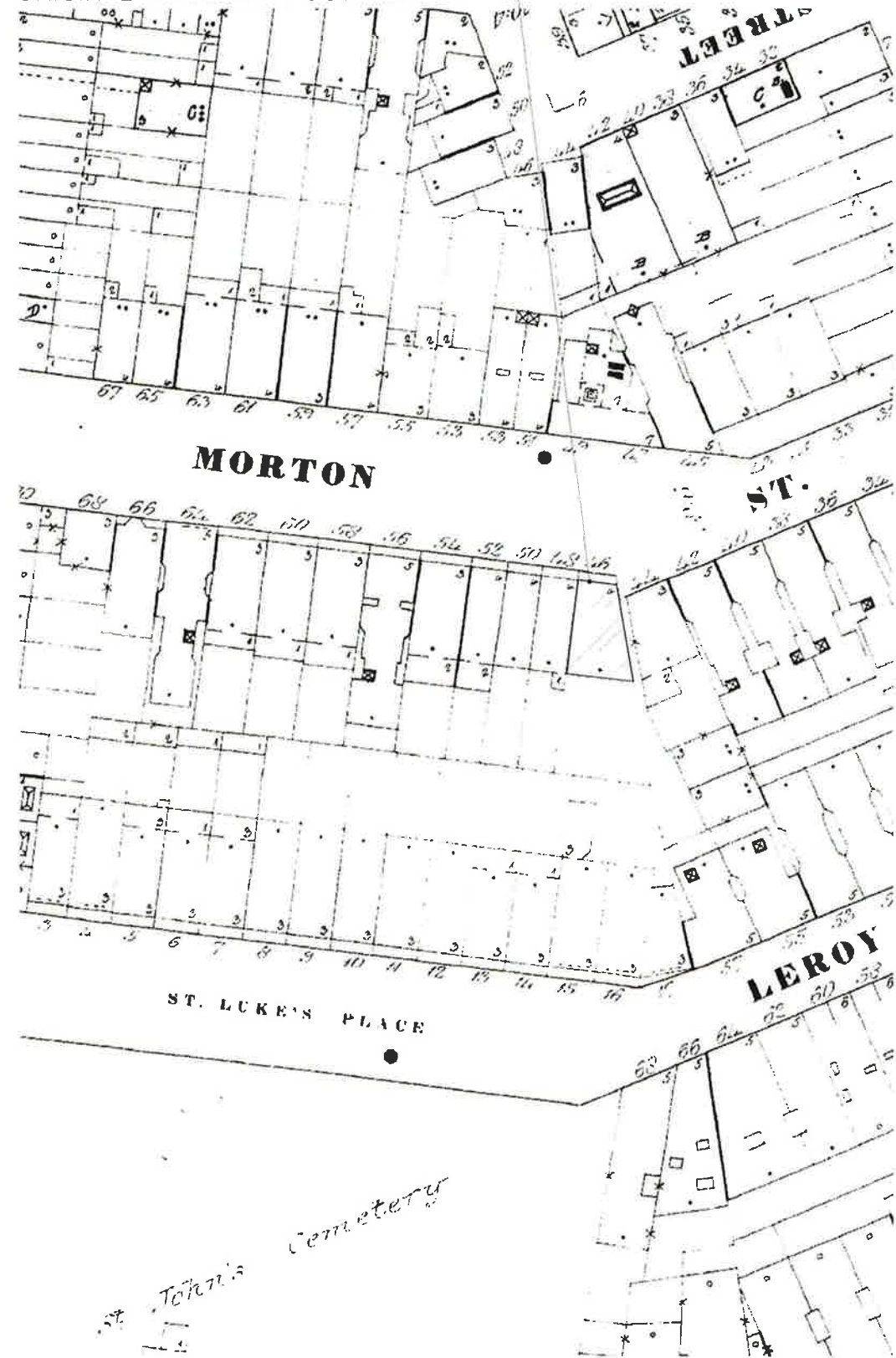
1 PROPOSED PLOT PLAN
SCALE: 1/8"=1'-0"

46 MORTON STREET
HISTORIC DISTRICT BOUNDARY



2 HISTORIC DISTRICT MAP
SCALE: NTS

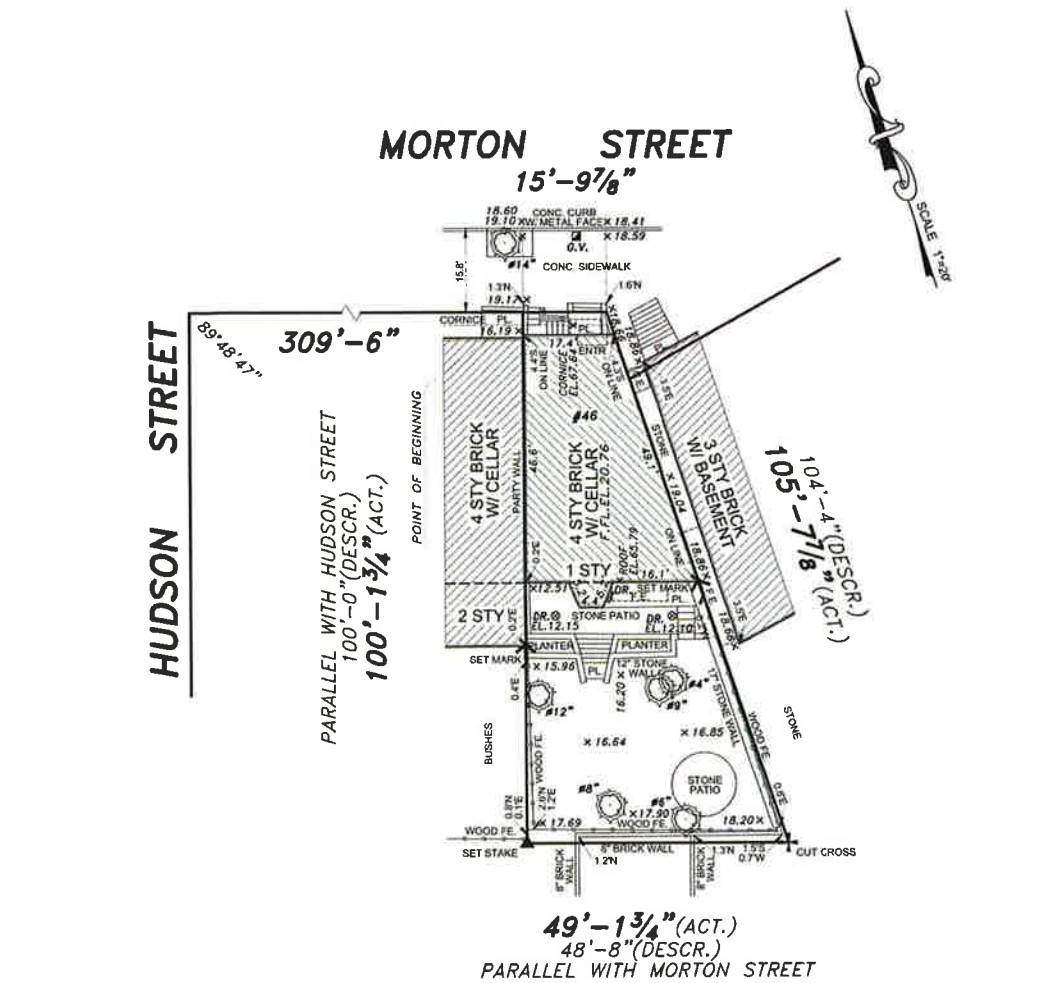
46 MORTON STREET,
ORIGINAL BUILDING FOOTPRINT



1 SANBORN MAP - 1895
SCALE 1/8" = 1'-0"

JOB NO: M 583-21-LOC

DATE: JULY 15, 2015
LOCATION SURVEY
AUGUST 5, 2015 - PROPERTY LINE STAKE OUT



STAKE OUT NOTE

ALL SET POINTS MUST BE VERIFIED WITH ARCHITECT'S PLANS BY BUILDER PRIOR TO CONSTRUCTION. ALL DISTANCES BETWEEN SET POINTS MUST BE VERIFIED AND COMPARED WITH DIMENSIONS SHOWN ON THIS STAKE OUT PLAN. NOT RESPONSIBLE FOR ANY ERRORS IF NOT BROUGHT TO ATTENTION OF SURVEYOR PRIOR TO START OF CONSTRUCTION.

ALL ELEVATIONS SHOWN REFER TO THE NAVD 1988 DATUM TO OBTAIN:
- NGVD 1929 DATUM - ADD 1.084 FEET
- MANHATTAN BOROUGH DATUM - SUBTRACT 1.652 FEET

STAKE OUT LEGEND

○	CITY MONUMENT	○	CLUT CROSS
+	SET MARK	○	SET MARK
▲	SET STAKE	○	SET MARK (PAINTED)
✕	SET BENCHMARK	○	SET BENCHMARK

SYMBOLS AND ABBREVIATIONS

BRICK	CONC	CONC CURB	CONC SIDEWALK	CONCRETE	CONC	CONC CURB	CONC SIDEWALK	CONCRETE	CONC	CONC CURB	CONC SIDEWALK
CLUT CROSS	CLUT CROSS	CLUT CROSS	CLUT CROSS	CLUT CROSS	CLUT CROSS	CLUT CROSS	CLUT CROSS	CLUT CROSS	CLUT CROSS	CLUT CROSS	CLUT CROSS
CLUT CROSS	CLUT CROSS	CLUT CROSS	CLUT CROSS	CLUT CROSS	CLUT CROSS	CLUT CROSS	CLUT CROSS	CLUT CROSS	CLUT CROSS	CLUT CROSS	CLUT CROSS

46 MORTON STREET, NEW YORK, NEW YORK CO., NY

PERFECT POINT
LAND SURVEYING, INC.
Brooklyn - Queens - Manhattan - Bronx
Staten Island - Nassau

phone: (718) 474-7700
fax: (718) 872-9699
info@ppsurveying.com
www.ppsurveying.com

SEC. _____ BLOCK 583 LOT 21

GUARANTEED TO: _____

TITLE NO. _____

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2 PROPERTY SURVEY
SCALE 1/8" = 1'-0"

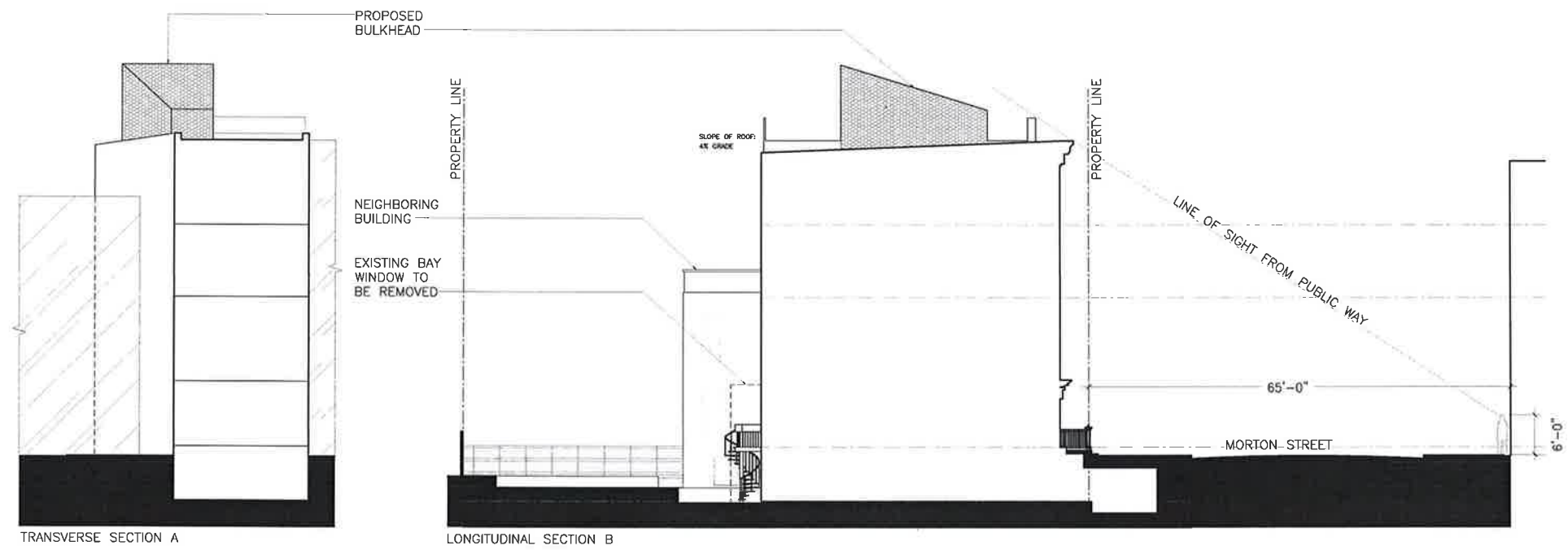
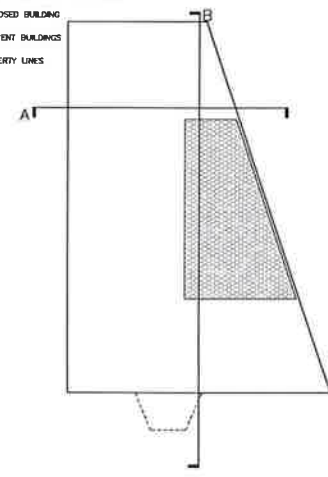
DELSON OR SHERMAN ARCHITECTS PC

20 JAY ST
SUITE 636
BROOKLYN
NY 11201

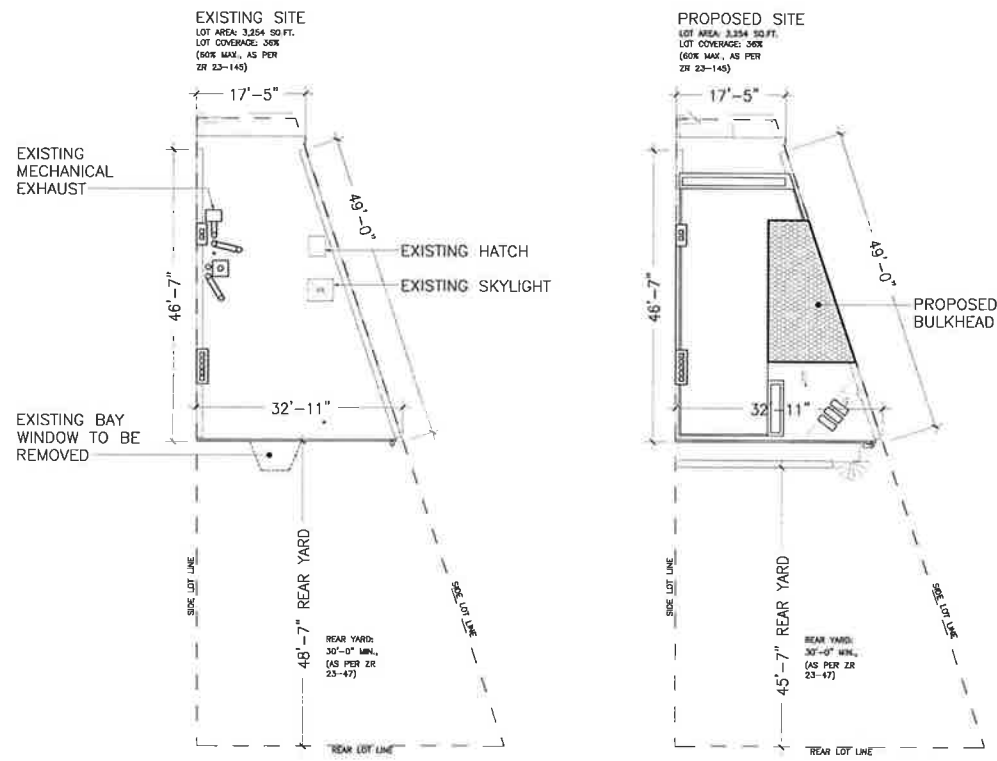
718-789-2919
delsongsherman.com

LEGEND
 R6
 RESIDENTIAL DISTRICT

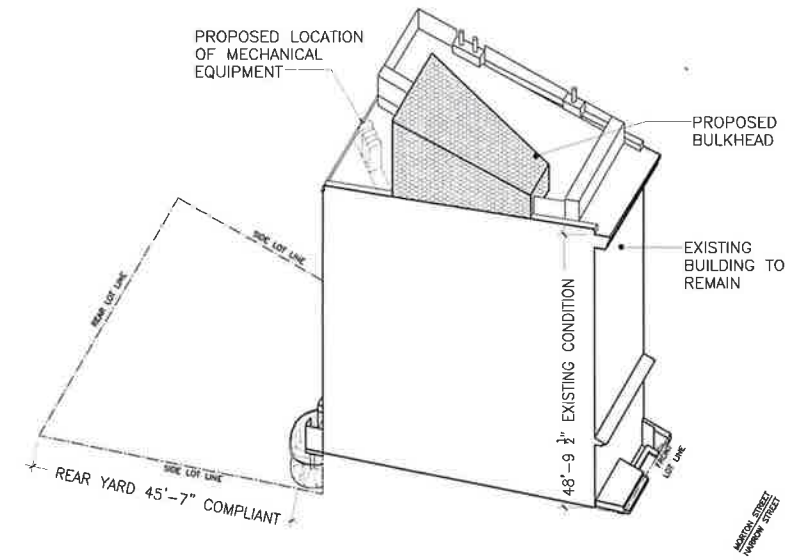
- EXISTING BUILDING
- EXISTING BUILDING TO BE REMOVED
- PROPOSED BUILDING
- ADJACENT BUILDINGS
- PROPERTY LINES



1 SITE PLAN DIAGRAMS
 SCALE 1/8" = 1'-0"



2 ROOF PLAN DIAGRAMS
 SCALE 1/8" = 1'-0"



3 AXONOMETRIC DIAGRAM
 SCALE 1/8" = 1'-0"

R6
 RESIDENTIAL DISTRICT

REQUIRED SETBACKS
 FRONT: 15'-0" ALONG A NARROW STREET
 (AS PER ZR 23-632)
 PROPOSED: EXISTING BASE & BUILDING HEIGHT
 TO REMAIN, NO CHANGE

STREETWALL
 MAX. BASE: 60'-0" (AS PER ZR 23-632)
 EXISTING TO REMAIN: 48'-9 1/2"
 NO CHANGE IN BASE HEIGHT, NO INCREASE
 IN DEGREE OF NON-COMPLIANCE

REAR YARD:
 30'-0" MIN. (AS PER ZR 23-47)
 EXISTING REAR YARD: 48'-7"
 PROPOSED REAR YARD: 45'-7"
 COMPLIES

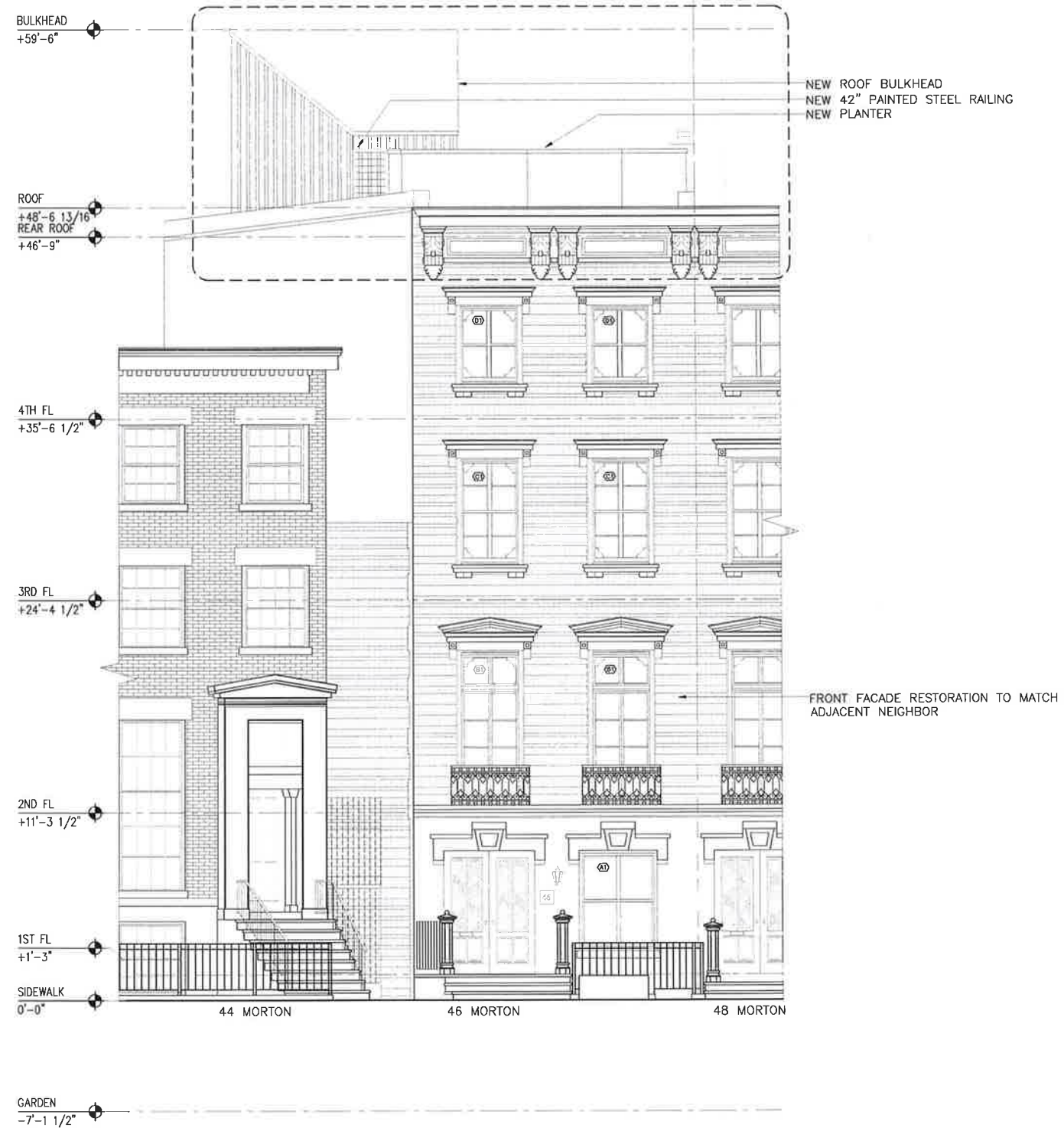
LIMITED HEIGHT RESTRICTION
 MAX. PERMITTED BUILDING HEIGHT IS 60'-0"
 (ZR 23-632):

STREET FRONTAGE WIDTH: 17'-5"
 MORTON STREET WIDTH: 65'-0"
 EXISTING BUILDING HEIGHT: 48'-9 1/2"
 PROPOSED BUILDING HEIGHT: 48'-9 1/2"

NO CHANGE IN BUILDING HEIGHT, NO
 INCREASE
 IN DEGREE OF NON-COMPLIANCE



1 EXISTING FRONT FACADE, NORTH ELEVATION
SCALE 1/8" = 1'-0"

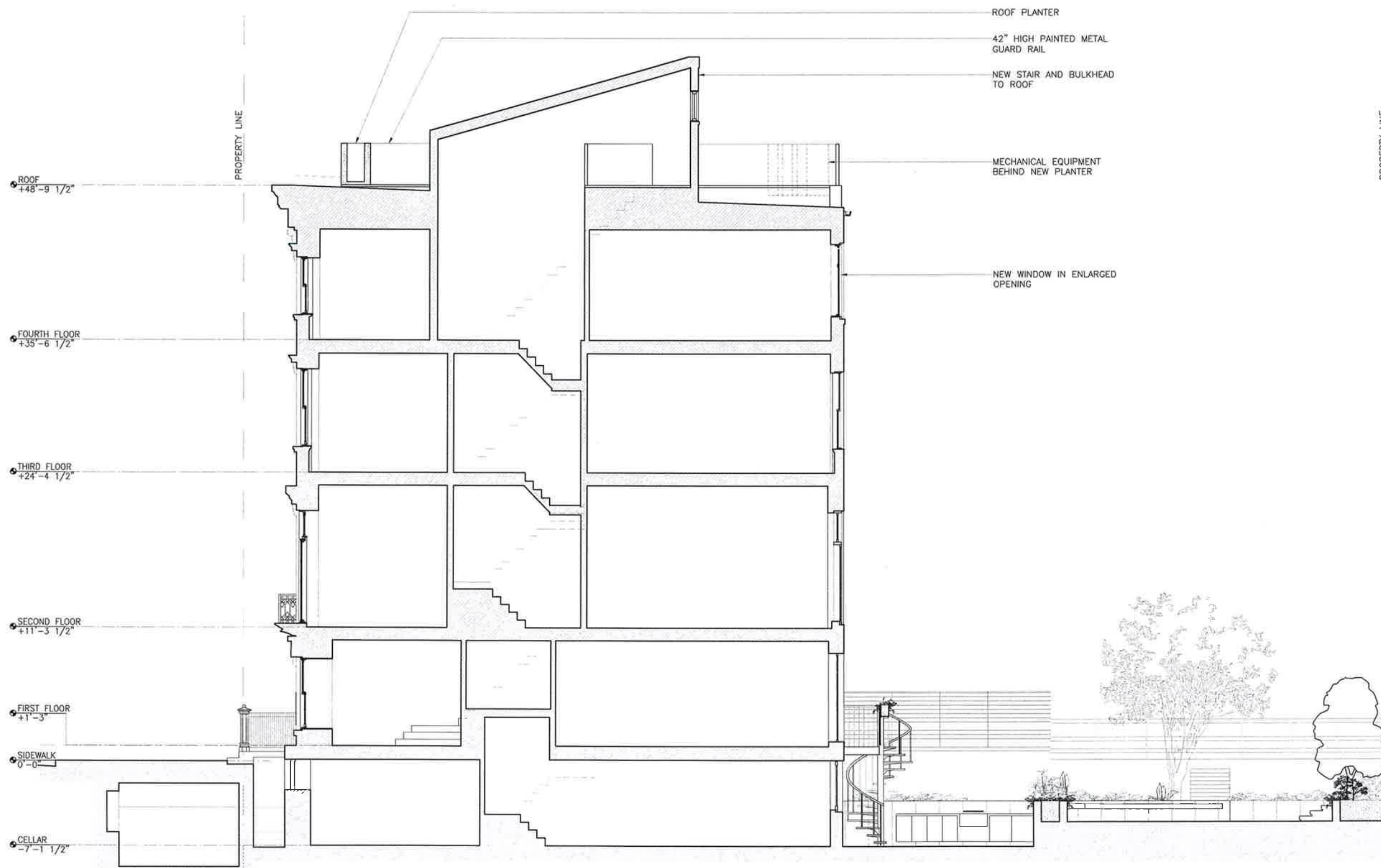


2 PROPOSED FRONT FACADE, NORTH ELEVATION
SCALE 1/8" = 1'-0"

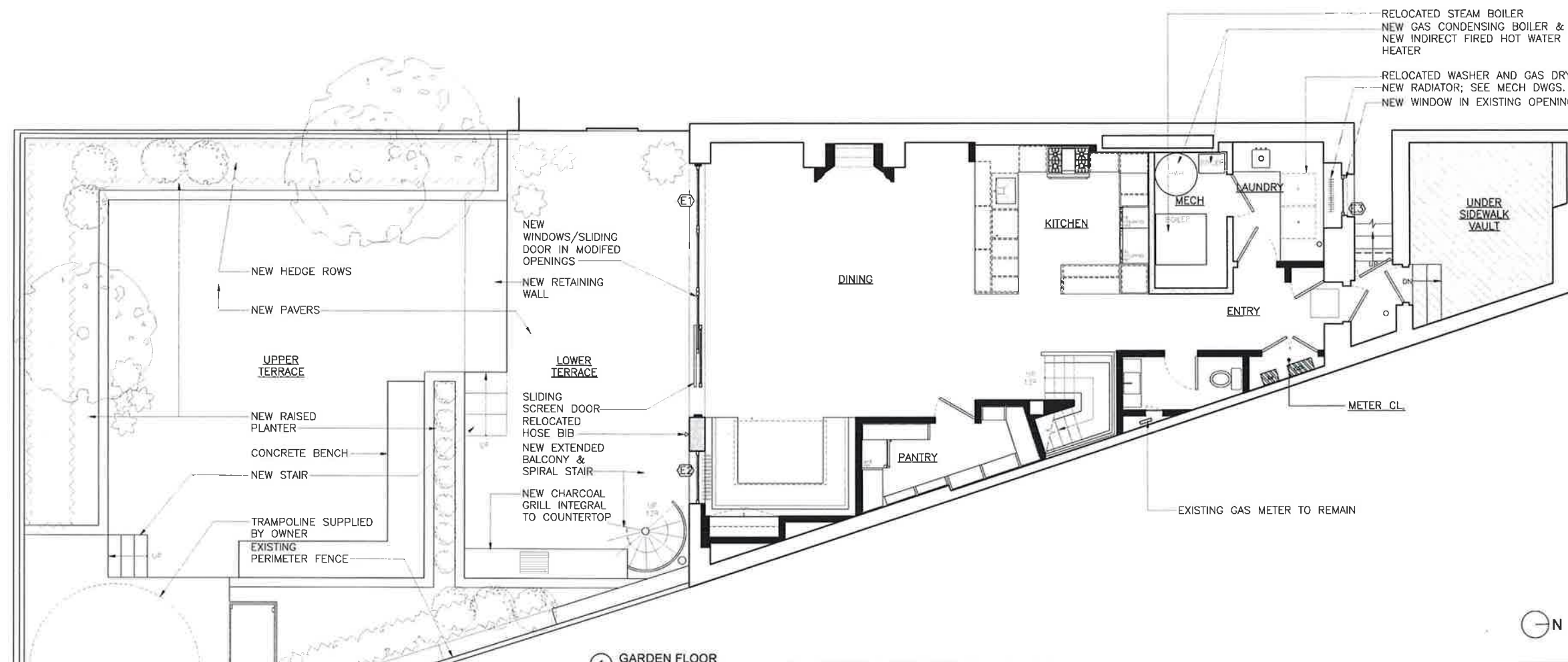


1 EXISTING REAR FACADE, SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

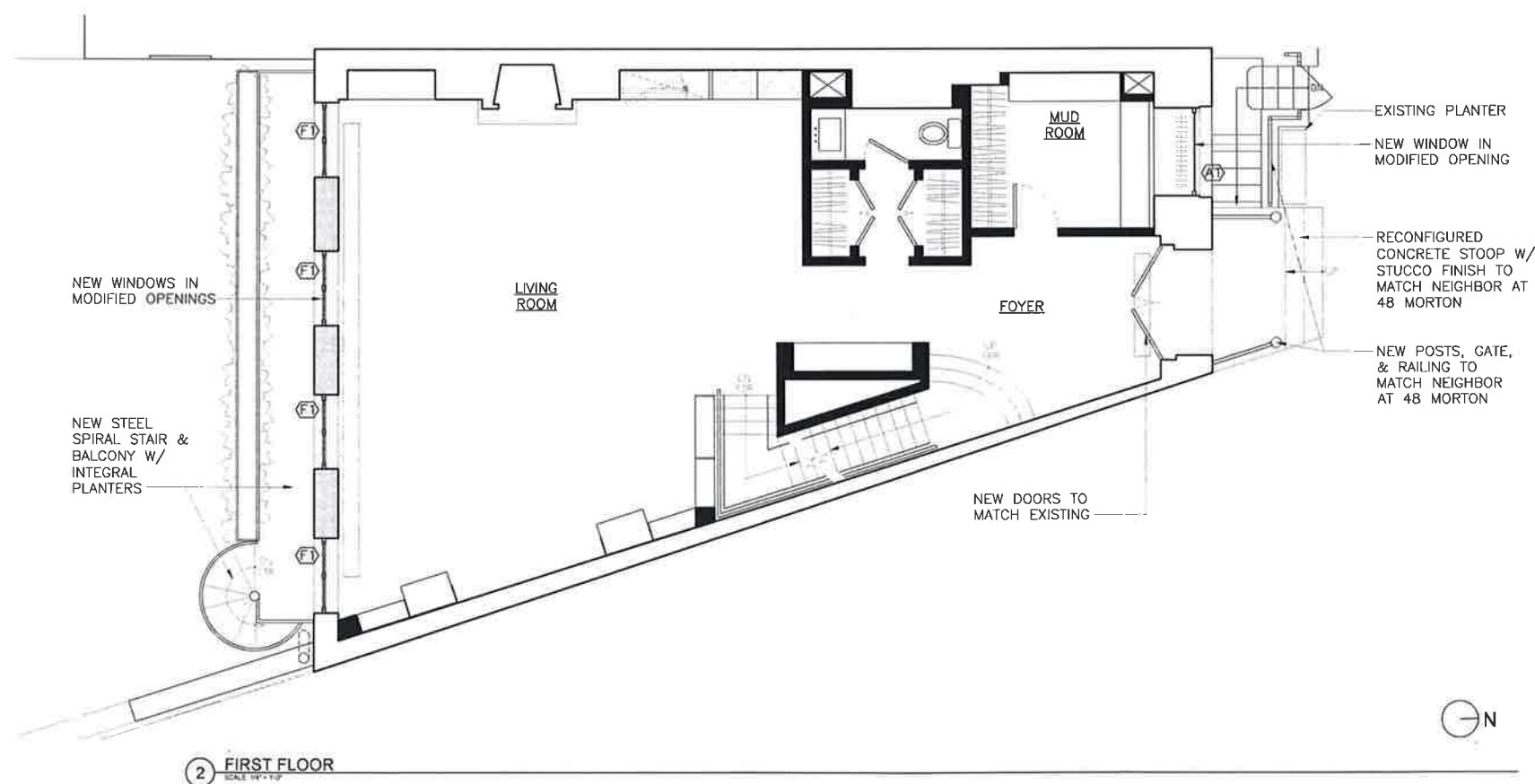
2 PROPOSED REAR FACADE, SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



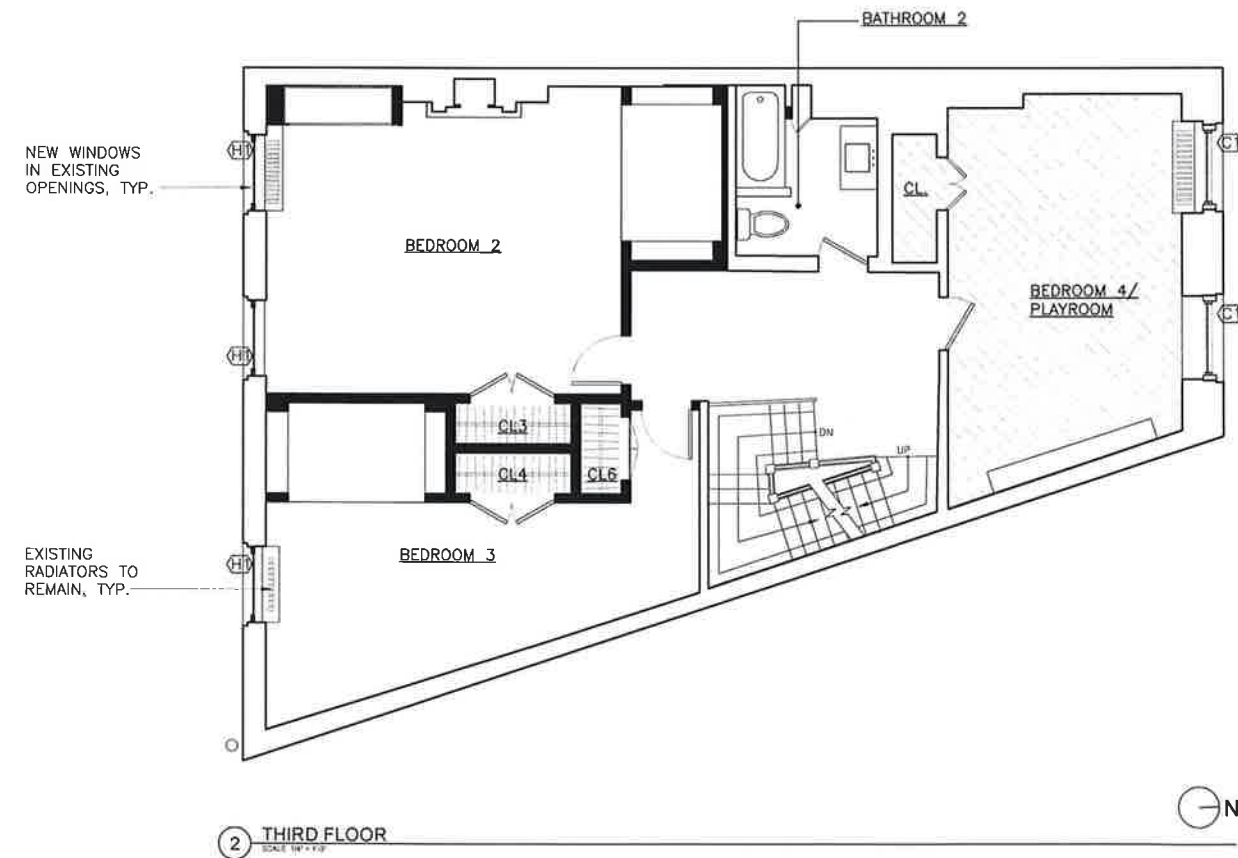
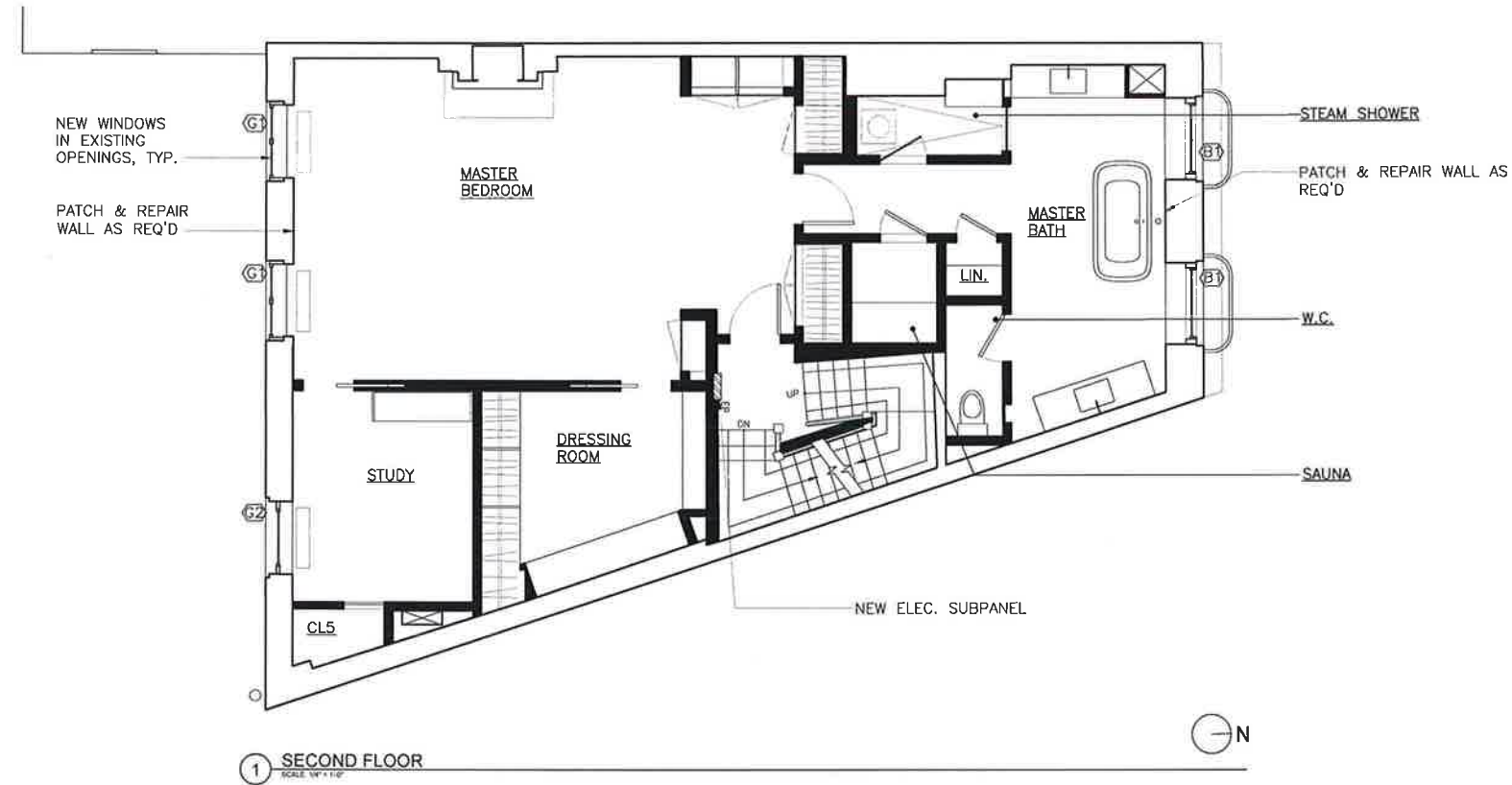
1 PROPOSED BUILDING SECTION
SCALE: 1/8" = 1'-0"

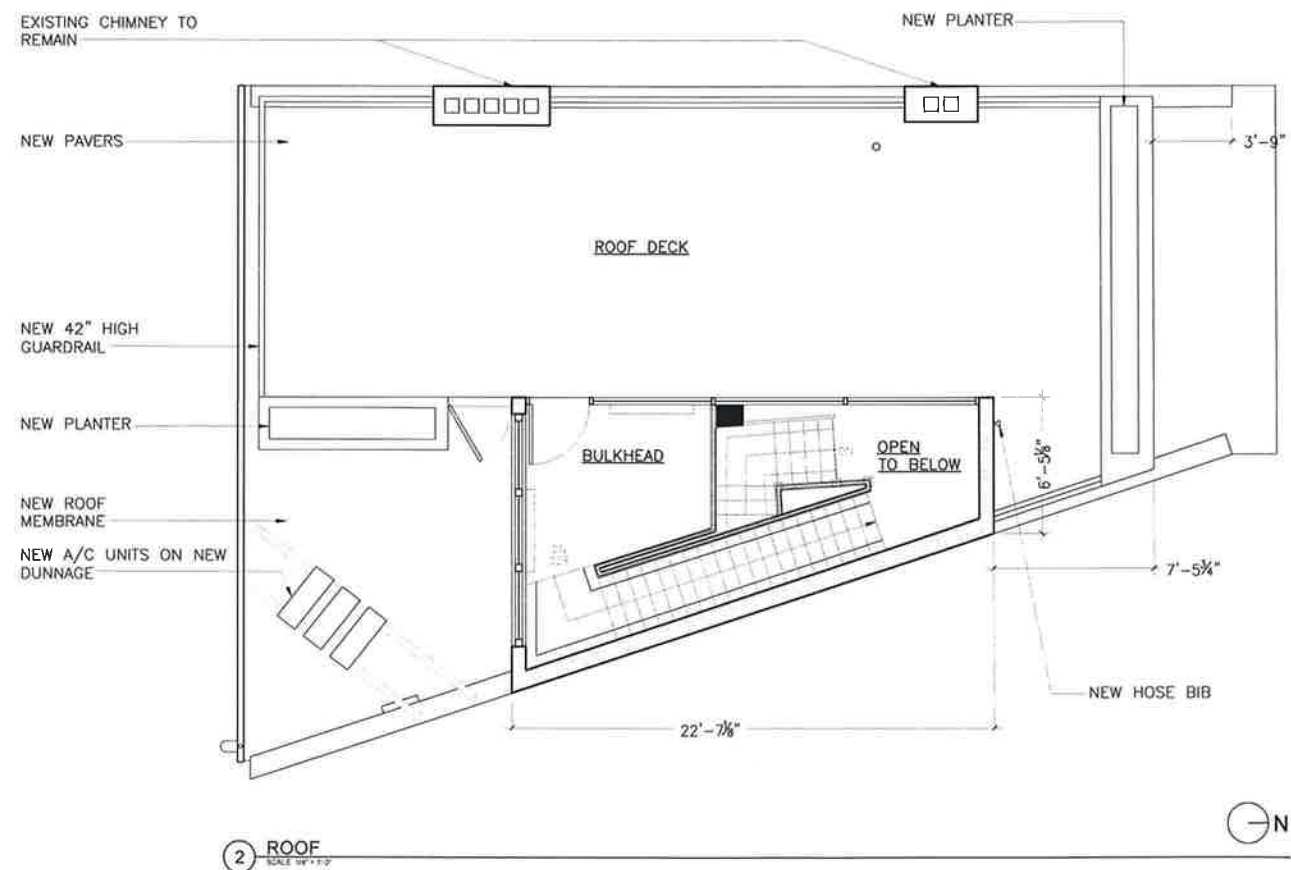
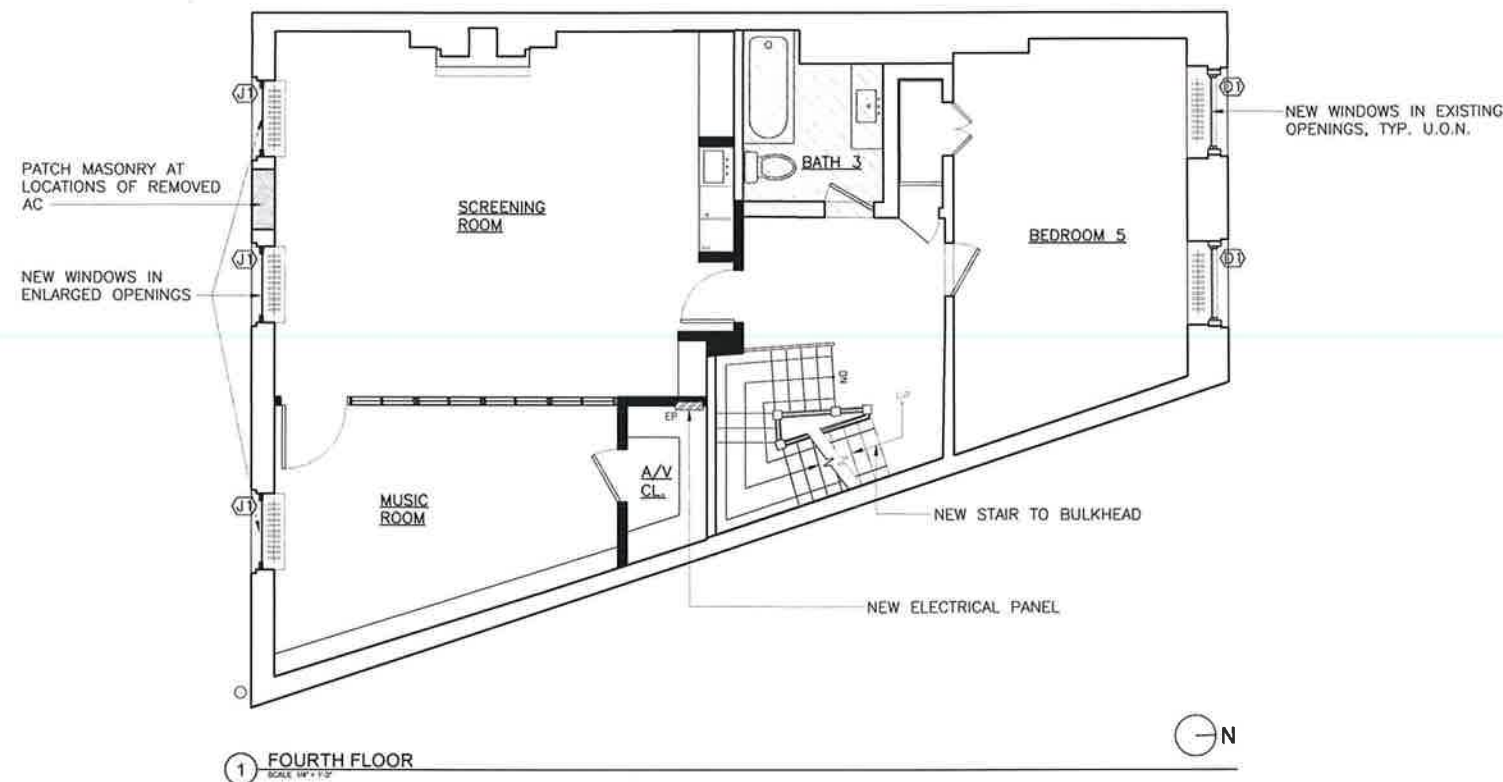


1 GARDEN FLOOR
 SCALE 1/8" = 1'-0"



2 FIRST FLOOR
 SCALE 1/8" = 1'-0"







1 TAX PHOTO - 1940
SCALE: NTS



46 MORTON STREET

2 46 MORTON AND NEIGHBORS, FRONT FACADE
SCALE: NTS

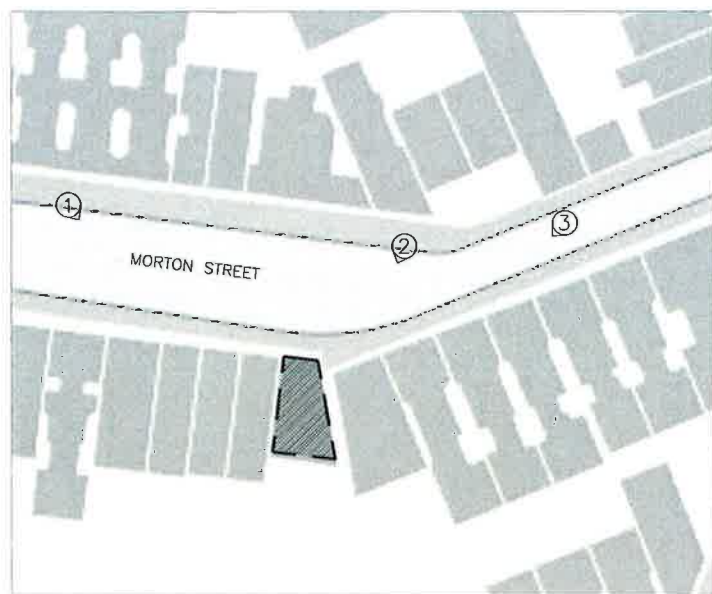


PHOTO LEGEND

① MOCK UP PHOTO
SCALE: N/A



② MOCK UP PHOTO
SCALE: N/A

③ MOCK UP PHOTO
SCALE: N/A

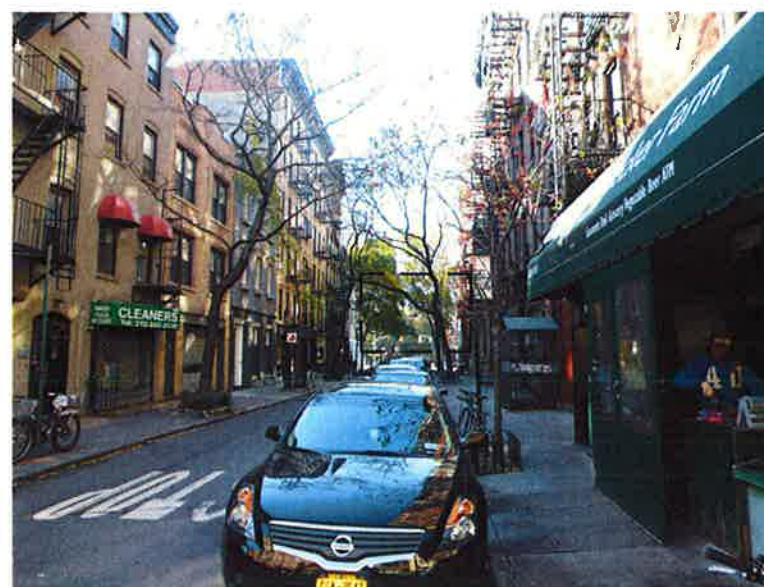
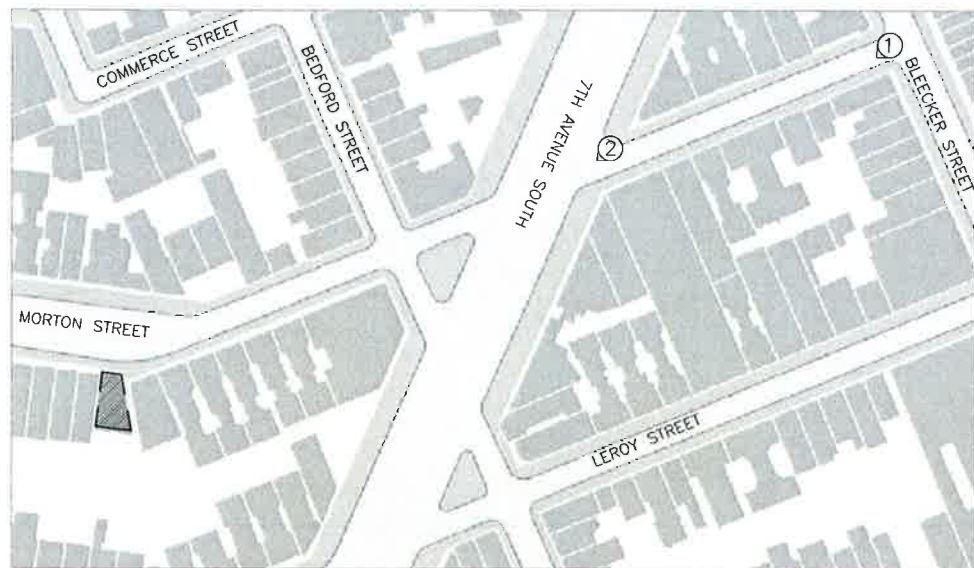


PHOTO LEGEND

1 MOCK UP PHOTO
SCALE N/A



2 MOCK UP PHOTO
SCALE N/A

REMOVE
GARDEN LEVEL
& FIRST FLOOR
BAY WINDOWS,
DOORS, &
RAILING

REMOVE EXISTING WINDOWS
& RAISE HEADERS AT 4TH
FLOOR REAR FACADE;
EXISTING SILL HEIGHT TO
REMAIN. EXISTING LINTEL TO
BE REPLICATED



1 REAR FACADE
SCALE: NTS

2 REAR FACADE
SCALE: NTS

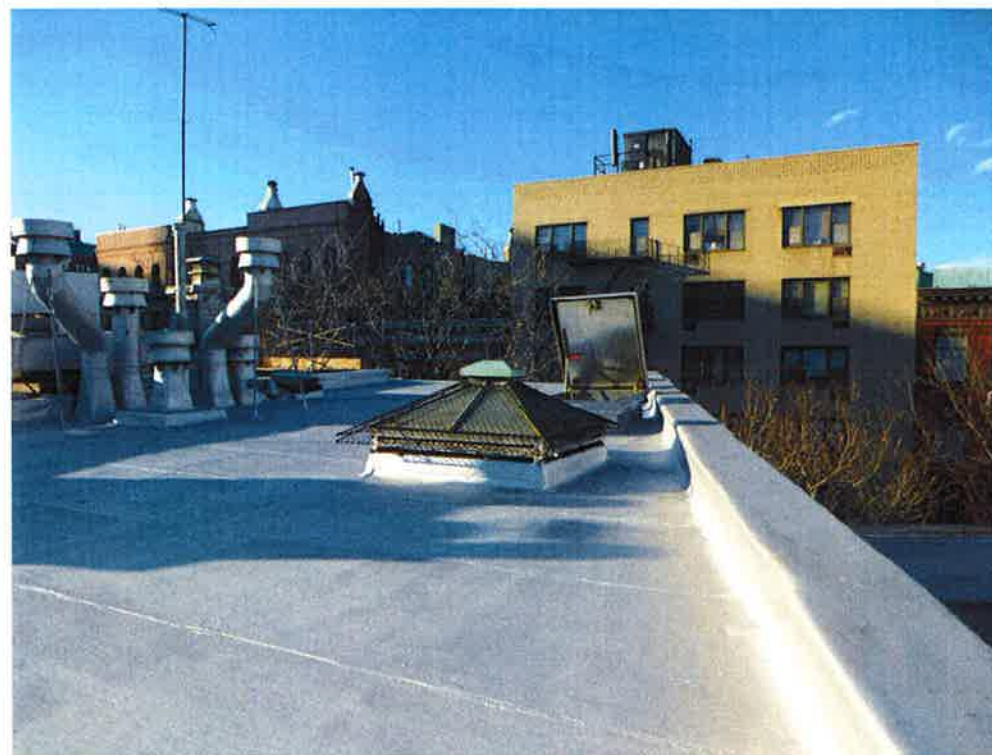
3 REAR FACADE
SCALE: NTS



1 REAR FACADE MOCK UP
SCALE: 1/8"



2 REAR FACADE MOCK UP
SCALE: 1/8"



LOOKING NORTH

① ROOF MOCK UP
SCALE: 1/8" = 1'-0"



LOOKING NORTHEAST

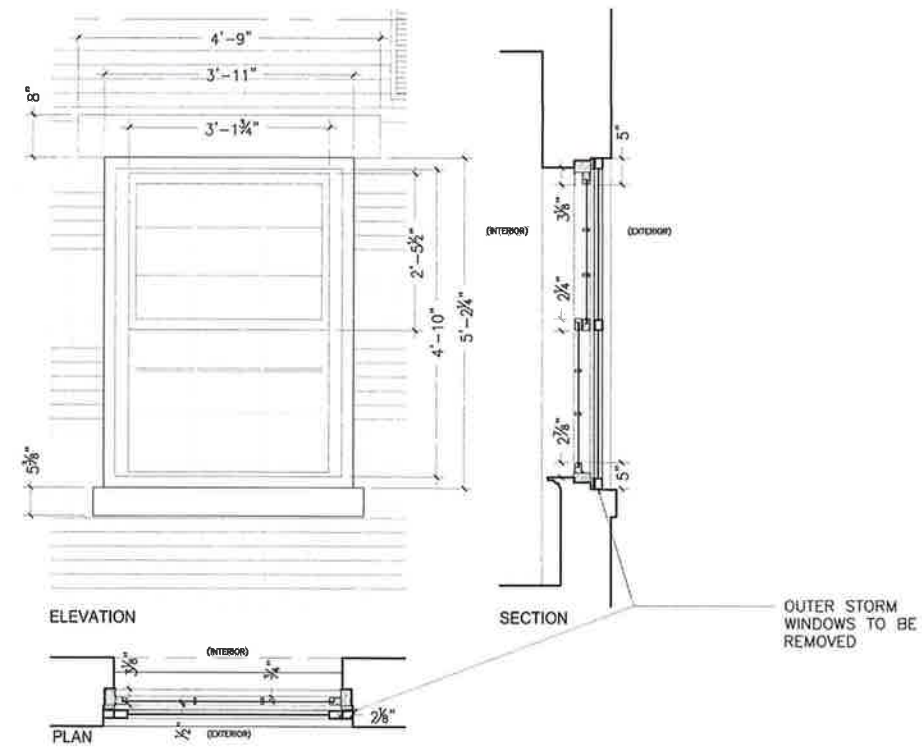
② ROOF MOCK UP
SCALE: 1/8" = 1'-0"



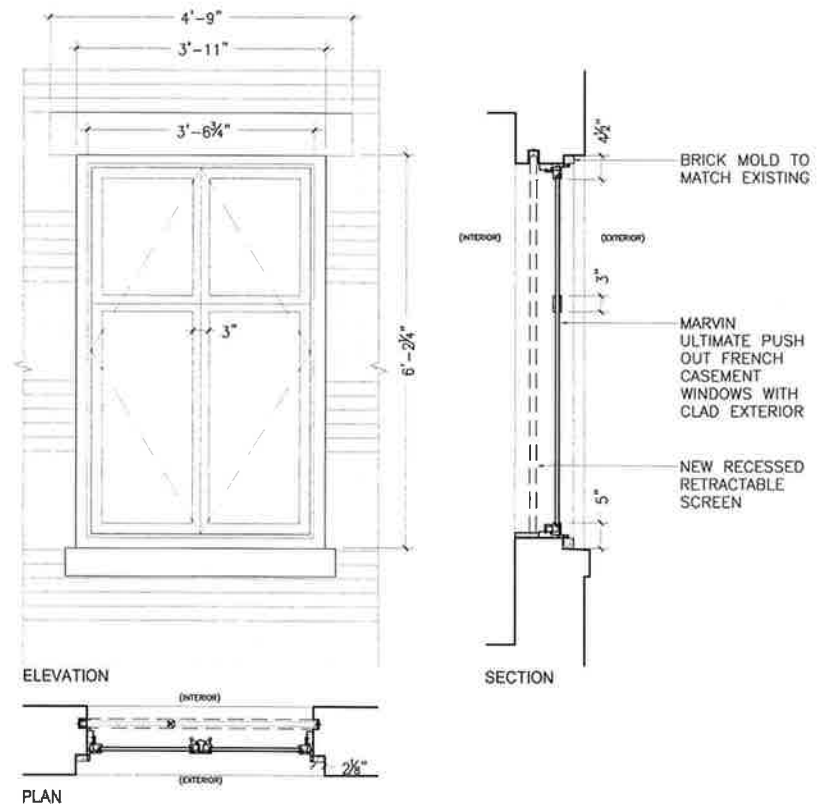
1 ROOF MOCK UP
SCALE: 1/8"



2 ROOF MOCK UP
SCALE: 1/8"



1 EXISTING WINDOW DETAILS - REAR FACADE - FOURTH FLOOR
SCALE: 3/4" = 1'-0"



2 PROPOSED WINDOW DETAILS - REAR FACADE - FOURTH FLOOR
SCALE: 3/4" = 1'-0"