

769 GREENWICH STREET

PROPOSAL FOR RELOCATING ROOFTOP BULKHEAD AND ADDING GLAZED ENCLOSURE TO THE THIRD FLOOR BALCONY

APRIL 2011

Existing Stair Bulkhead on
Rooftop to be Replaced



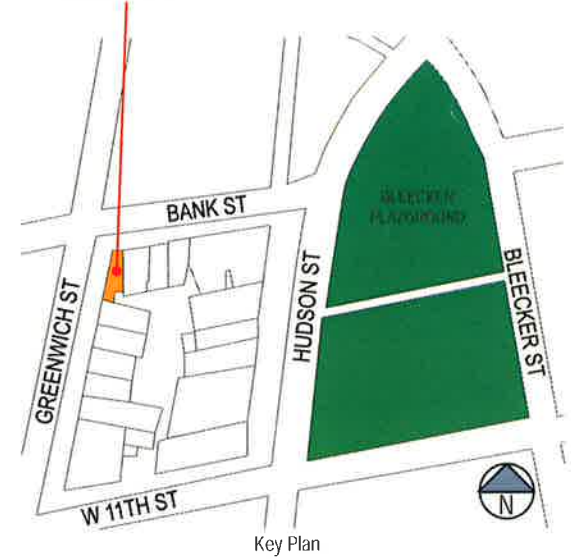
Aerial view of 769 Greenwich Street looking
South along Greenwich Street



Aerial view of 769 Greenwich Street looking
East along Bank Street

Existing Third Floor Terrace
Existing Elevator Shaft

769 Greenwich Street Residence is Located at
the Corner of Greenwich Street and Bank Street



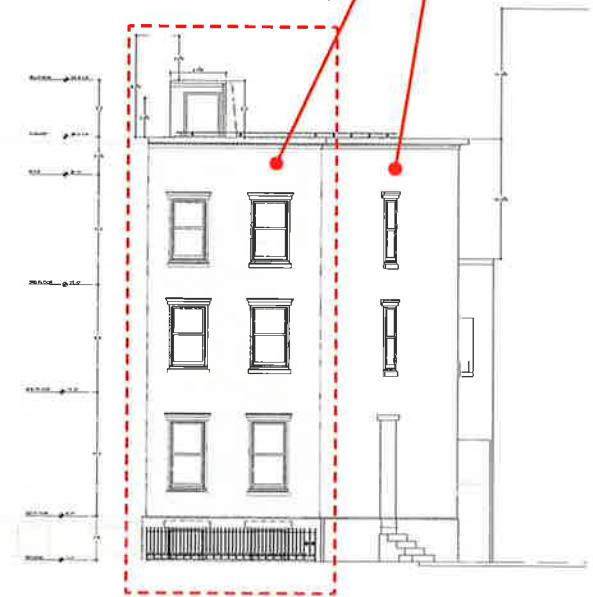
Key Plan



Facade Along Bank Street

Facade Along Greenwich Street

769 Greenwich Street



EXISTING ELEVATION BANK STREET

Mock-up of Shaft Extension & Bulkhead. Orange Fence indicates top of Elevator Shaft and Bulkhead

Mock-up of Glass Enclosure at Third Floor Balcony. Orange Fence indicates 5' Height of Glazing along the parapet

Proposed Shaft Extension & Bulkhead with zinc cladding to match existing elevator shaft.

Proposed Glass Enclosure at Third Floor Balcony, with frosted glass louvers to match existing louvers at street level below



View 1: From West Side of Greenwich Street



Louvered Glass Wall at Street Level



Key Plan

Existing Roofdeck

Mock-up of Proposed New Glass Enclosure at Third Floor Balcony



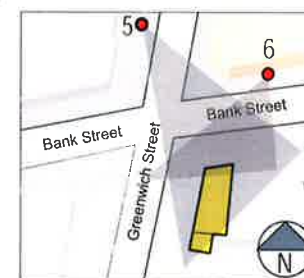
Proposed Glass Enclosure at Third Floor Balcony, with frosted glass louvers to match existing louvers at street level below



View 3: From Northwest Corner of Greenwich & Bank Streets



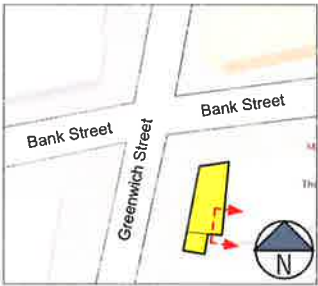
Key Plan



The existing steel Lapere Staircase is very steep and it's nearly impossible to climb up or down safely without holding both handrails. The rise of the steps is too tall for the children to be able to use the stairs and carrying them would be unsafe given the tight width of the steps and the steep climb. The owners currently don't utilize this wonderful space because it is in accessible for their children and very difficult to bring anything up or down the stairs. To make this roofdeck a functional exterior space, the elevator shaft can be extended up one more floor (9'-3") to provide safe and convenient access to the roof.



Photos of Existing Staircase to the Roof and Elevator Door in Master Bedroom

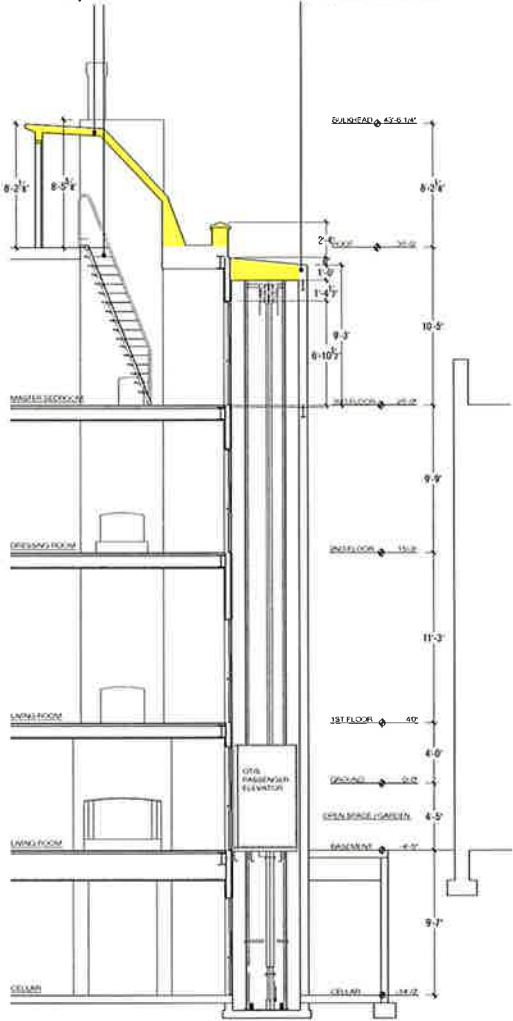


Key Plan

- = To be Removed
- = Proposed

Existing Stair Bulkhead & Steel Ladder to be Replaced

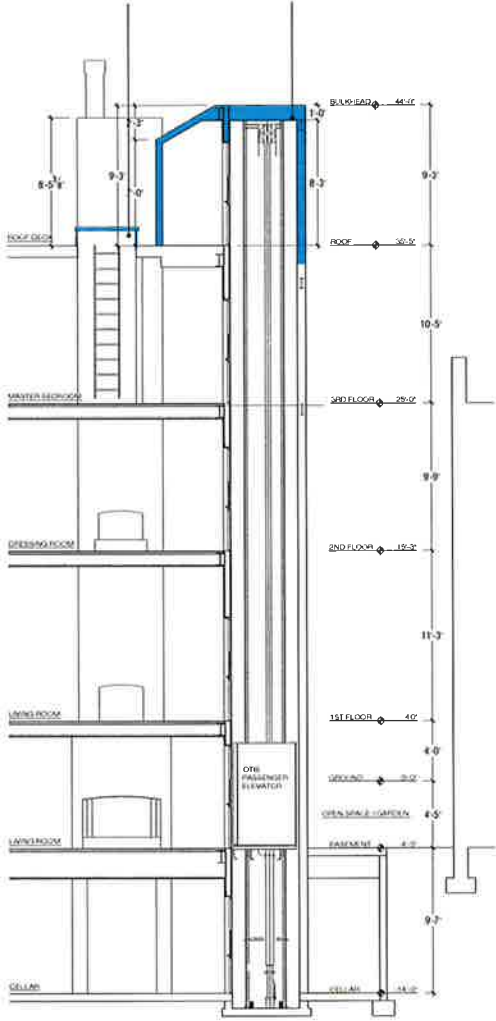
Existing Elevator Shaft Roof to be Removed



SECTION THROUGH EXISTING ELEVATOR SHAFT

Interior Ladder & Roof Hatch in Place of Stair Bulkhead

Elevator Shaft Extended to Roofdeck



SECTION THROUGH PROPOSED ELEVATOR BULKHEAD

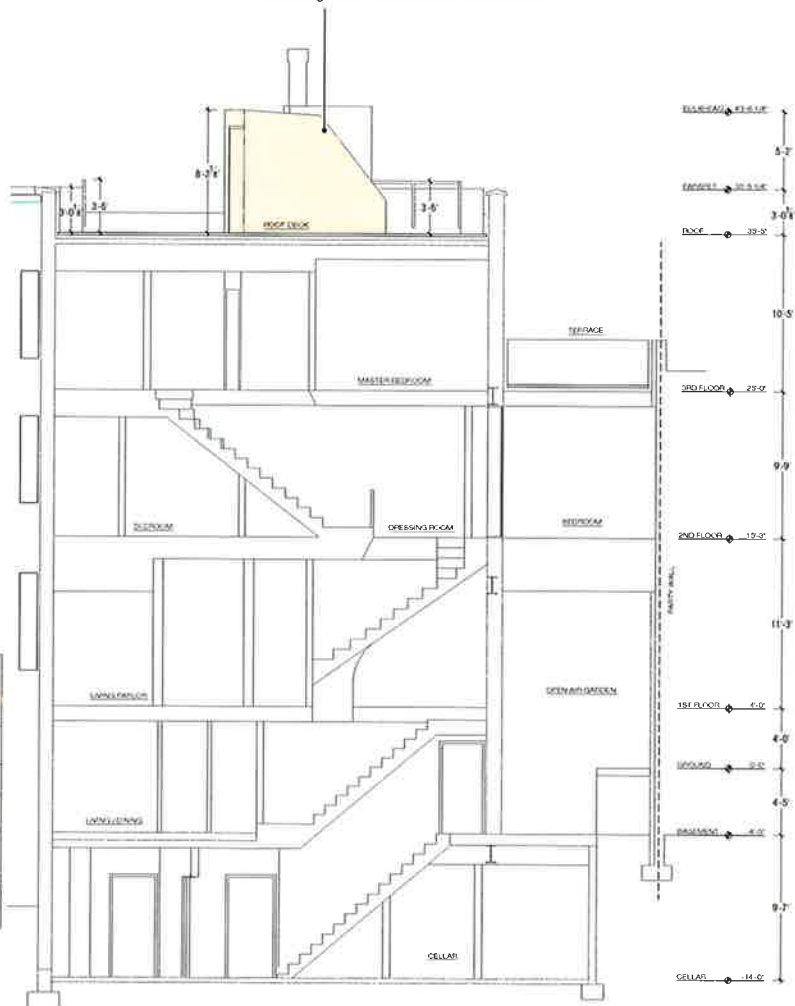


Photo of Existing Staircase to the Roof



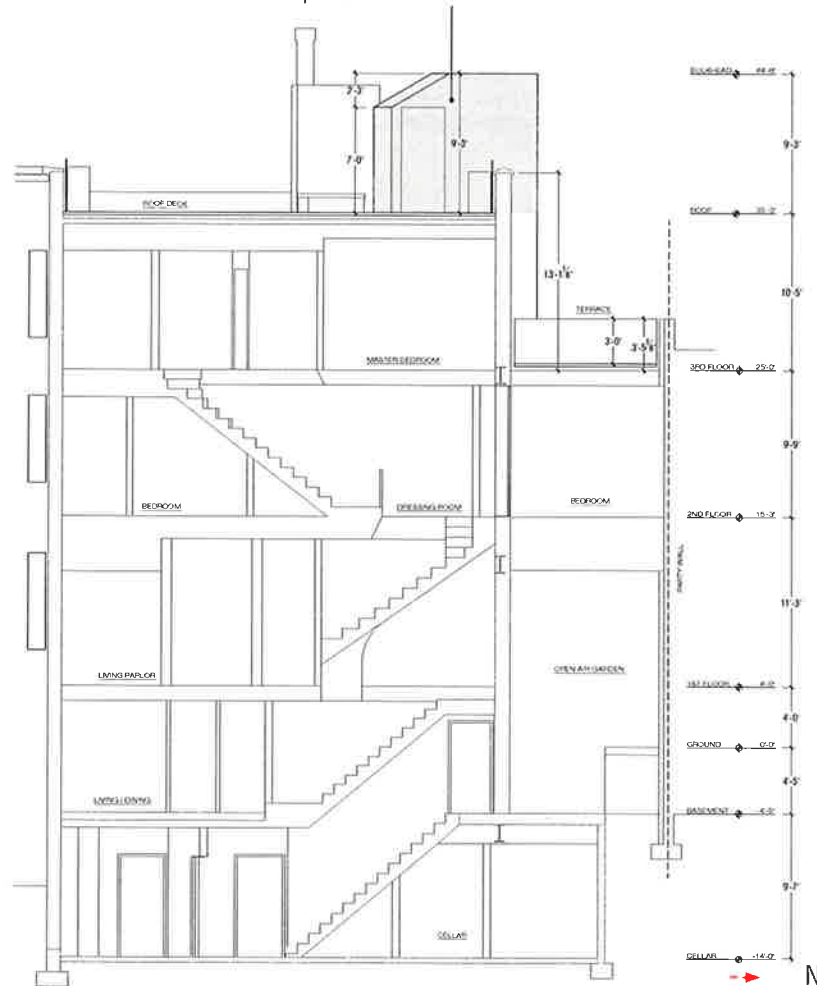
Key Plan

Existing Stair Bulkhead to be Removed



BUILDING SECTION WITH **EXISTING** STAIR BULKHEAD

Proposed Extension of Elevator Shaft to Roofdeck to Replace Stair Bulkhead

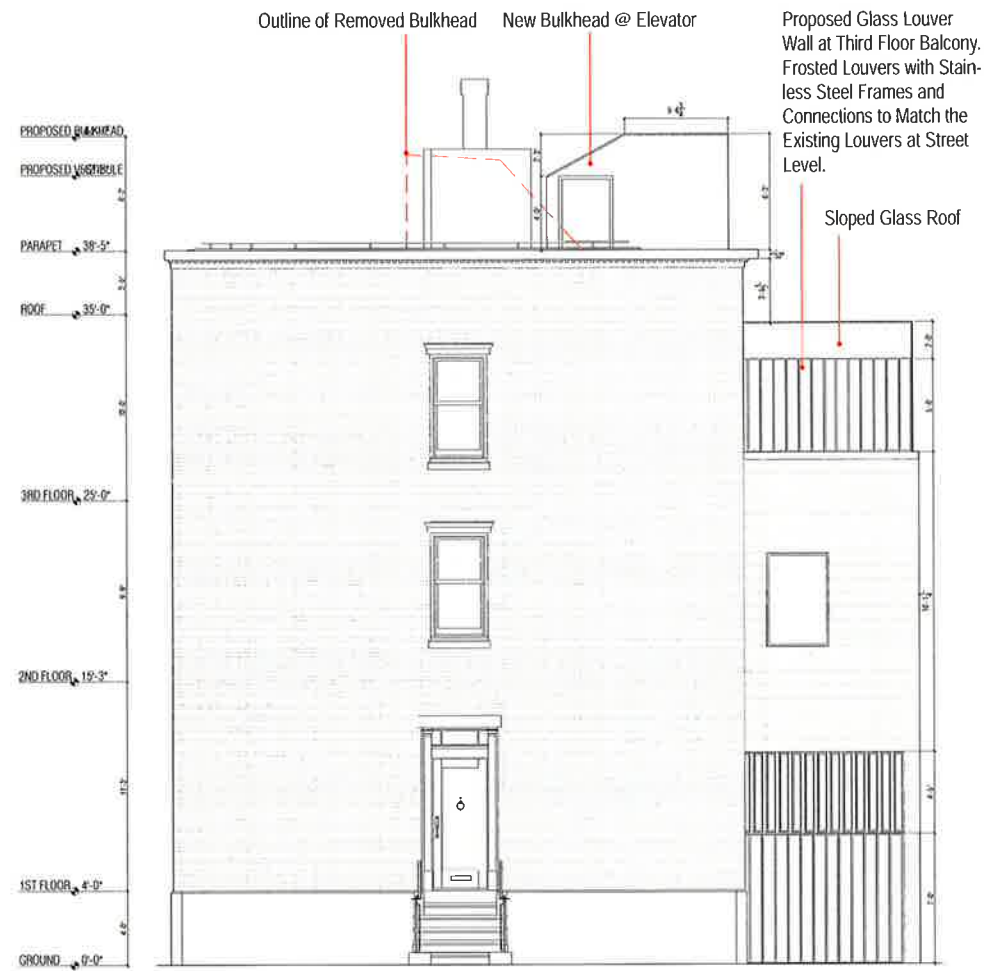


BUILDING SECTION WITH **PROPOSED** ELEVATOR BULKHEAD

769 GREENWICH STREET BUILDING WEST ELEVATIONS

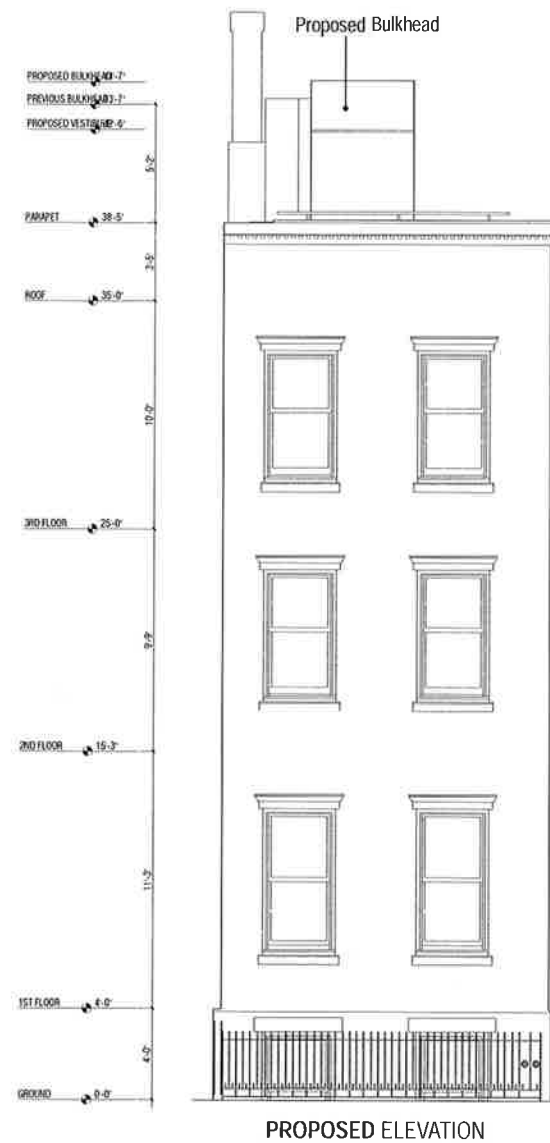
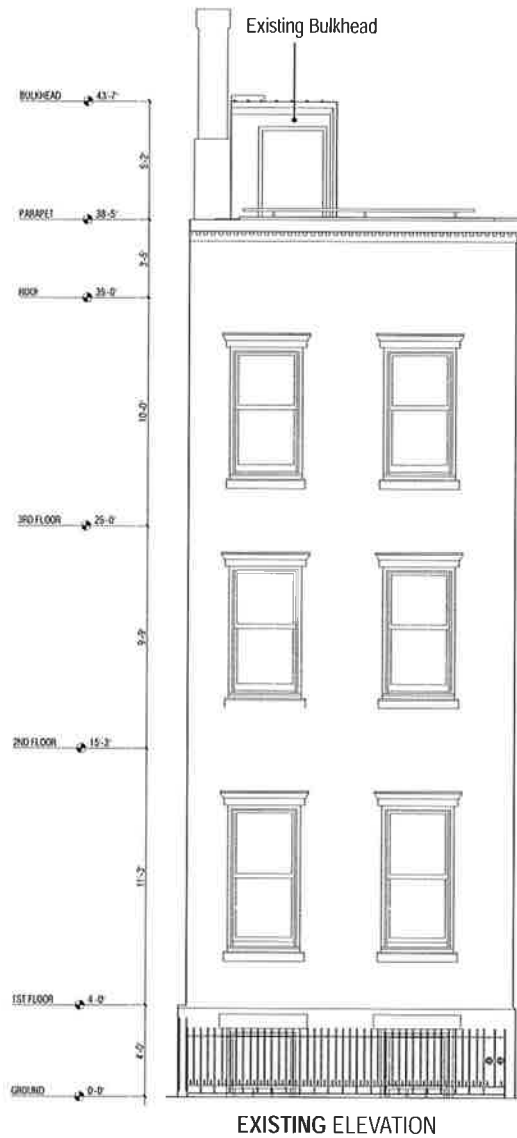


EXISTING ELEVATION

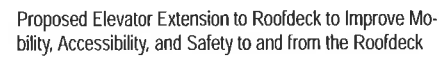


PROPOSED ELEVATION

BANK STREET BUILDING ELEVATIONS



Existing Bulkhead to be Removed



Proposed Glass Louver Wall at Third Floor Balcony to Increase the Safety and Use of this Small Terrace. Frosted Louvers with Stainless Steel Frames and Connections to Match the Existing Louvers at Street Level.



Sunken Private Patio and Primary Entrance

PROPOSED ELEVATION

EXAMPLES OF VISIBLE ROOFTOP BULKHEADS IN THE VICINITY OF 769 GREENWICH STREET



513 Hudson Street



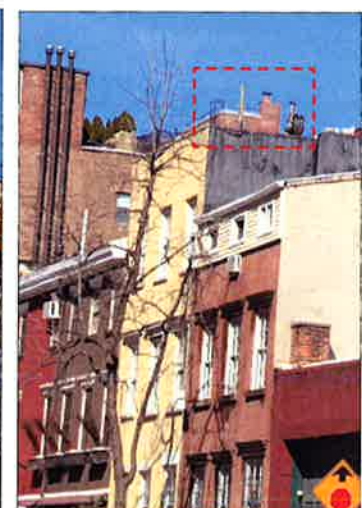
272 West 10th Street



421-425 Bleeker St



566 Hudson Street



314 W 11th St



269 W 10th Street



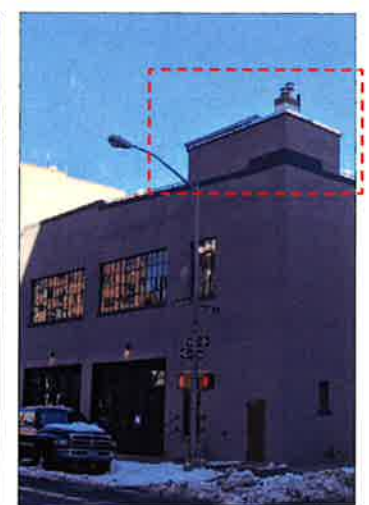
759 Greenwich Street



738 Greenwich Street



99 Bank Street



755 Washington St

EXAMPLES OF VISIBLE GLASS ENCLOSURES IN THE VICINITY OF 769 GREENWICH STREET



131 Charles Street (at corner of Greenwich)



311 W 11th Street -OR- 702 Greenwich St



35-37 Bethune (Pickwick House)



694 Greenwich Street



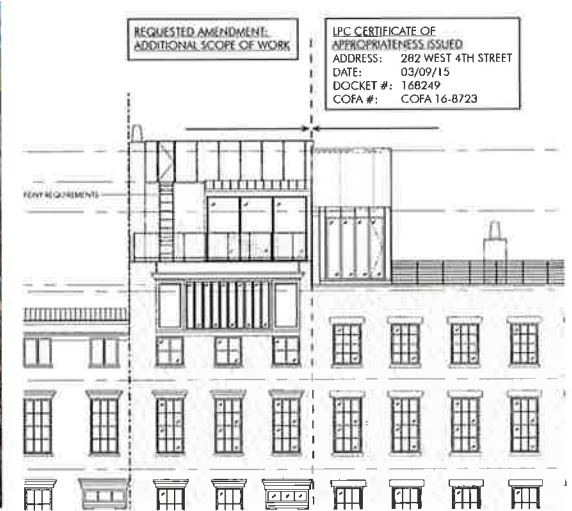
708 Greenwich Street



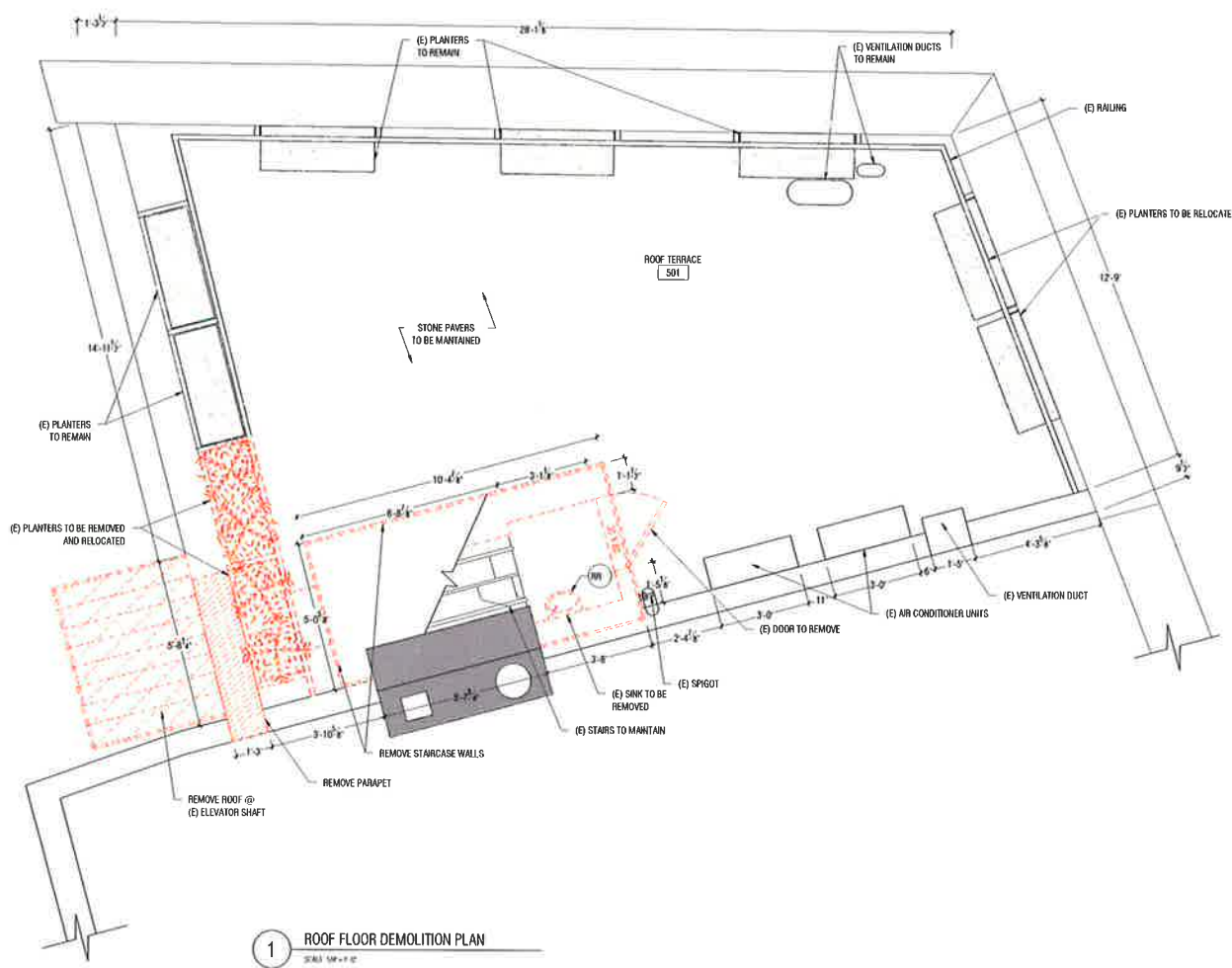
744 Greenwich Street



723 Washington



282 West 4th Street (Selldorf Project under Construction)



1 ROOF FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

TOTAL EXTERIOR AREA: 407.10 SQ. FT.

GENERAL NOTES:

1. REMOVE SOME PLANTERS TO LET THE ELEVATOR GET TO THE ROOF.
2. REMOVE PARAPET WHERE THE ELEVATOR ARRIVES
3. REMOVE STAIRCASE WALLS
4. REMOVE RAILING THROUGHOUT

APPLIANCES & PLUMBING FIXTURE NOTES:

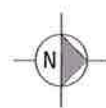
- (E) EXISTING APPLIANCE/PLUMBING FIXTURE TO REMAIN AT EXISTING LOCATION
- (REP) APPLIANCE/PLUMBING FIXTURE TO BE REPLACED AT EXISTING LOCATION ON EXISTING ROUGHING
- (RR) APPLIANCE/PLUMBING FIXTURE TO BE REMOVED & RELOCATED
- (REX) APPLIANCE/PLUMBING FIXTURE TO BE REMOVED & CAPPED

EXISTING WALL

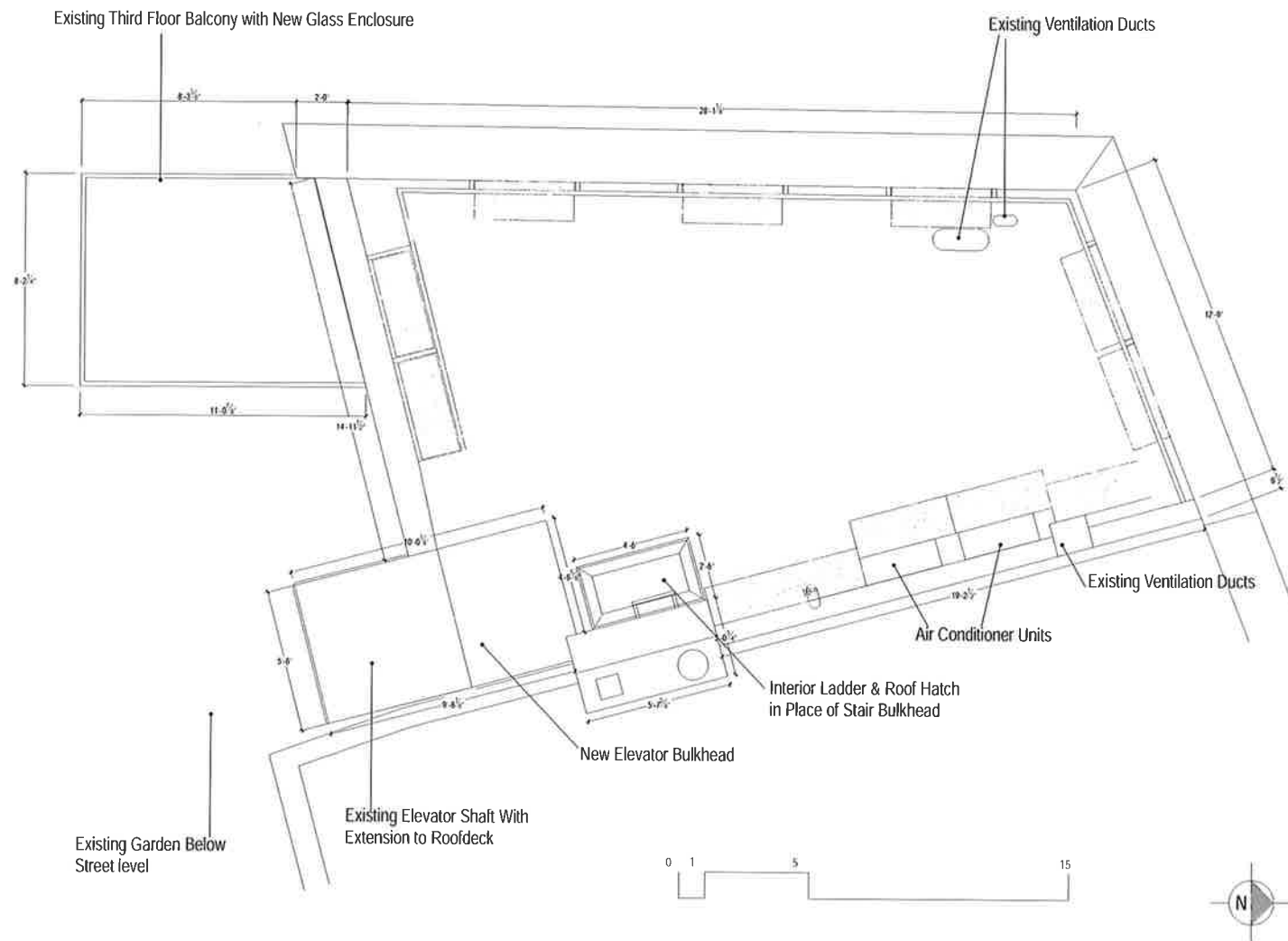
EXISTING WALL TO BE REMOVED

NOT IN SCOPE OF WORK

MILLWORK/FIXTURES TO BE REMOVED

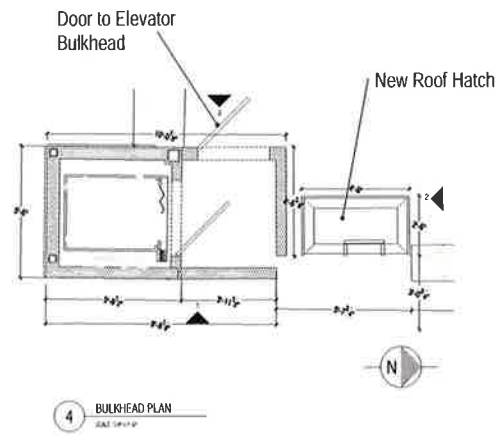
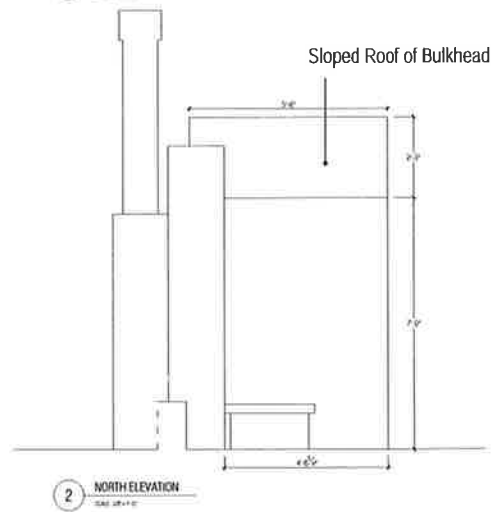
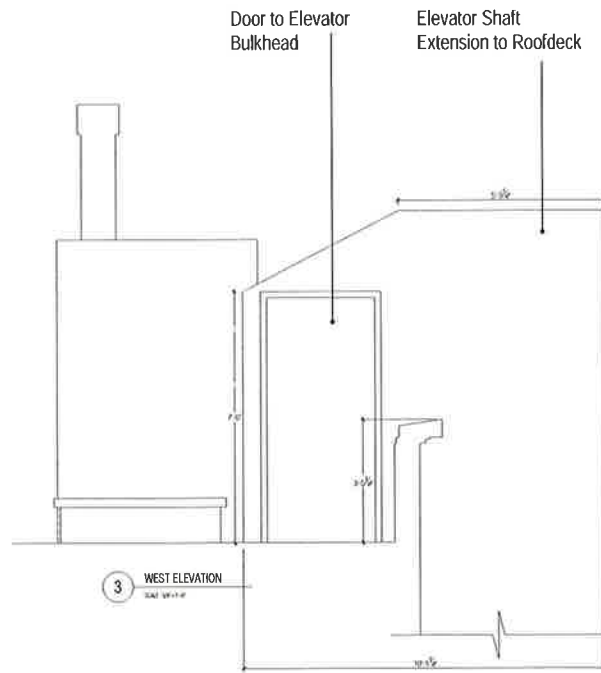
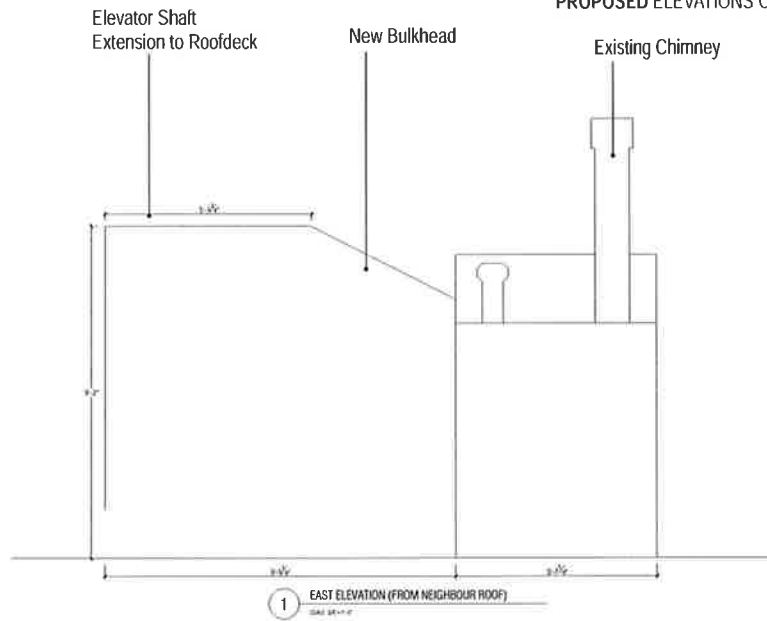


EXISTING/DEMOLITION ROOF PLAN



PROPOSED FLOOR PLAN @ ROOF WITH ELEVATOR BULKHEAD

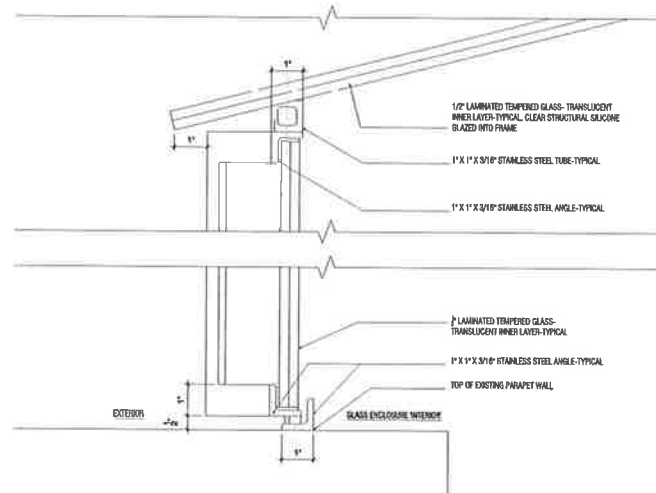
PROPOSED ELEVATIONS OF NEW BULKHEAD AND ROOF HATCH



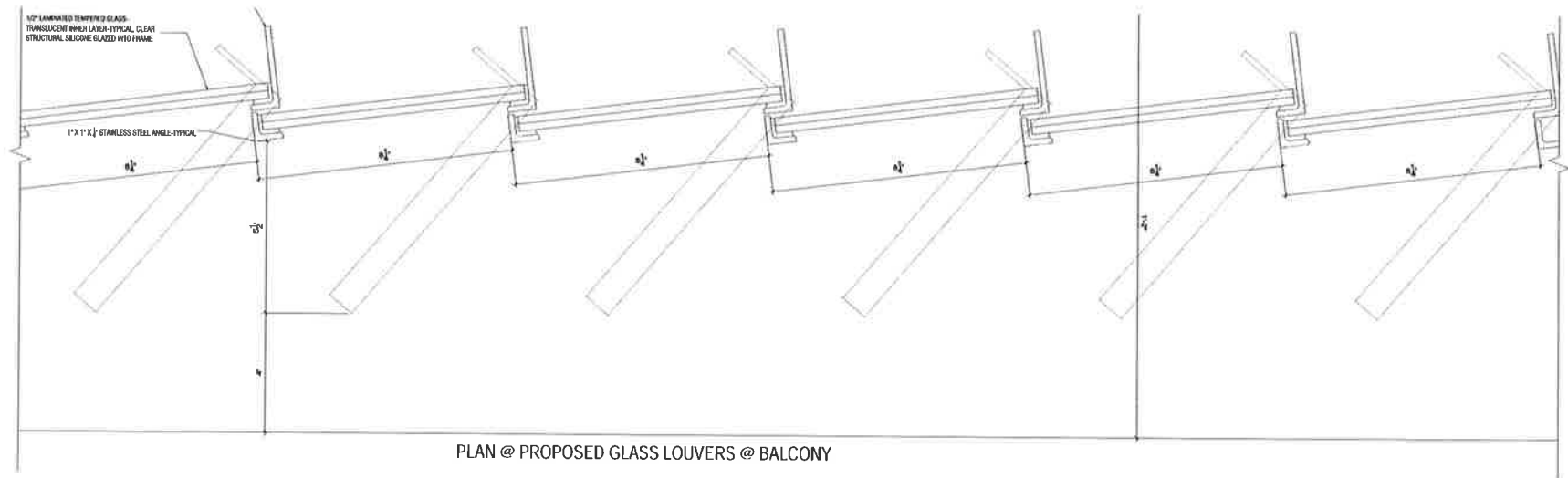
Materials: New bulkhead to have the same zinc cladding as the existing elevator shaft and bulkhead. Brick chimney to remain as-is.



Zinc Panel Close-up

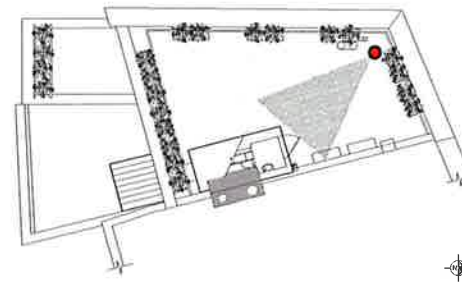
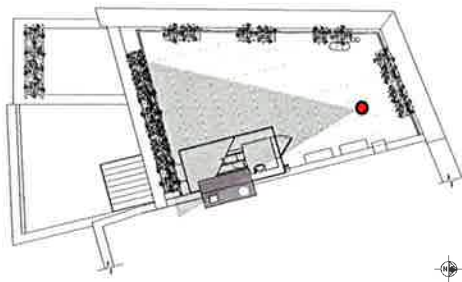


SECTION @ PROPOSED GLASS LOUVERS @ BALCONY

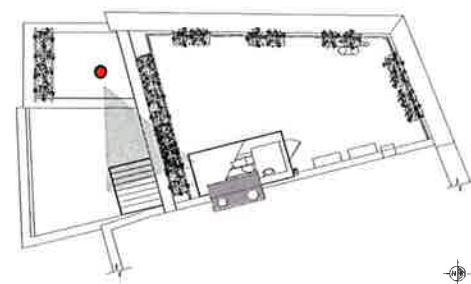
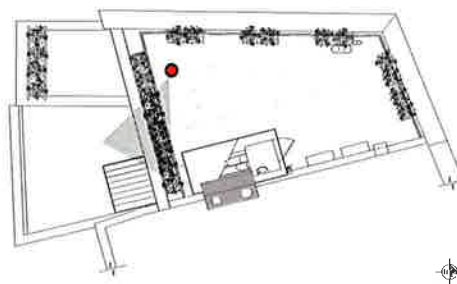
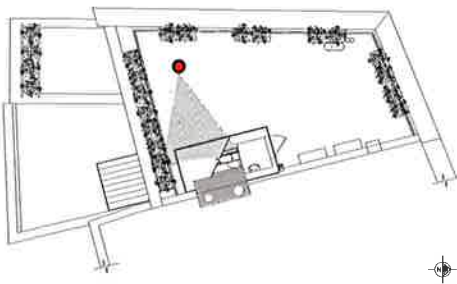


PLAN @ PROPOSED GLASS LOUVERS @ BALCONY

GLASS LOUVER DETAILS



PHOTOS OF EXISTING BULKHEAD ON ROOF



VIEWS OF EXISTING STAIR BULKHEAD ON ROOFDECK