

# THE CITY OF NEW YORK LANDMARKS PRESERVATION COMMISSION ARCHITECTURAL DRAWINGS

for Proposed Restoration and Alteration of:  
21 West 10th Street  
New York, NY 10011

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PETER PENNOYER ARCHITECTS  
JANUARY 12th, 2017

REISSUED TO LPC 01/12/2017

LPC FILING SET 11/09/2016

ISSUE: DATE:

Project:

21 WEST 10TH STREET  
NEW YORK, NY 10011

TITLE SHEET

Seal and Signature: Date: 11.09.16

Scale:

NTS

Drawn By:

PPA

Drawing No.

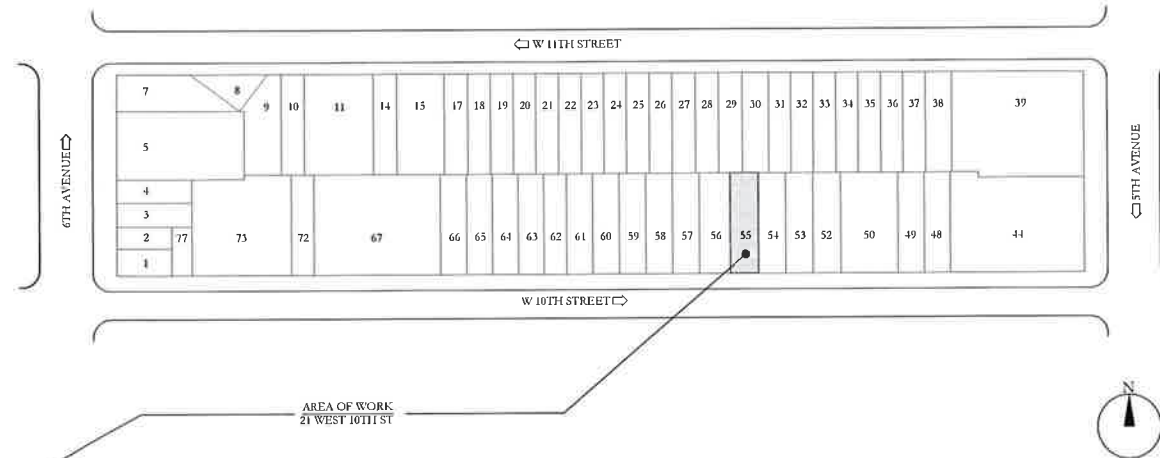
LC-00

Project No.

3660

1 of 20

# Greenwich Village



01 BLOCK PLAN  
LC-01



NTS

### ZONING INFORMATION:

SITE: 21 W 10TH STREET  
 BLOCK: 574  
 LOT: 55  
 HEIGHT: 5 STORIES, 58'-0"  
 ZONING DISTRICT: R6  
 ZONING MAP: 12C  
 CONSTRUCTION CLASS: IIC: UNPROTECTED WOOD JOIST  
 OCCUPANCY: R-3 RESIDENTIAL  
 WORK UNDER: 2014 BUILDING CODE  
 LOT SIZE: 26'-6" x 94'-9 1/2"  
 LOT AREA: 2,512.05 sf

Greenwich Village Historic District  
Manhattan  
Designated April 29, 1969

Historic District Boundaries



01 HISTORIC DISTRICT BOUNDARY MAP  
LC-01

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DISRICT MAP AND BLOCK PLAN

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03 HISTORIC PHOTO, 1940  
LC-01 NTS



04 CURRENT CONDITION PHOTO, 2016  
LC-01 NTS

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HISTORIC AND CURRENT FACADES

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	Scale:	VARIES
	Drawn By:	PPA
	Drawing No.:	LC-02
Project No.:	3660	3 of 20

AREA OF WORK  
21 W 10TH STREET

AREA OF WORK  
21 W 10TH STREET



01  
LC-02 VIEW FROM SOUTHWEST CORNER OF  
W 10TH ST. & 6TH AVE.  
DISTANT VIEW OBSCURED BY TREES



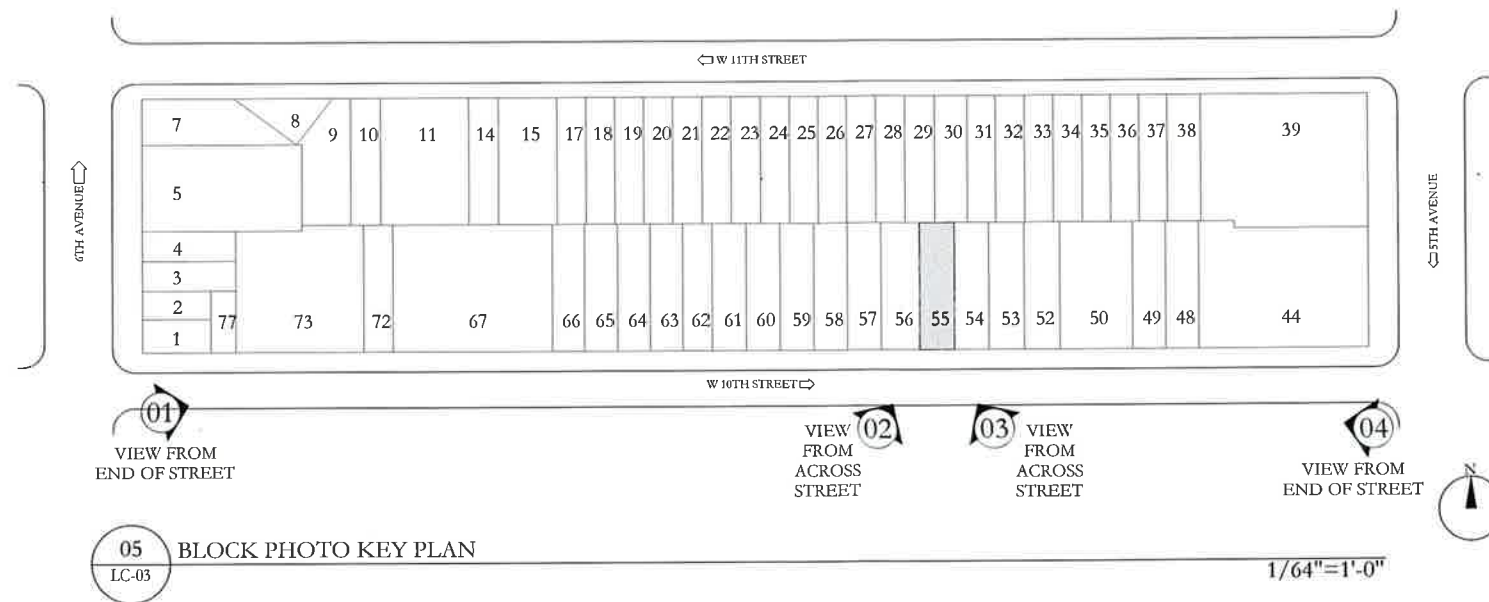
02  
LC-02 VIEW FROM ACROSS THE STREET  
LOOKING NORTHEAST



03  
LC-02 VIEW FROM ACROSS THE STREET LOOKING  
NORTHWEST



04  
LC-02 VIEW FROM SOUTHEAST CORNER OF  
W 10TH ST. & 5TH AVE.  
DISTANT VIEW OBSCURED BY TREES



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BLOCK KEY PLAN AND PHOTOS

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Scale: VARIES

Drawn By: PPA

Drawing No. LC-03

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#29 W 10TH STREET

#27 W 10TH STREET

PROPERTY LINE

#23 W 10TH STREET

PROPERTY LINE

PROPERTY LINE

#21 W 10TH STREET

PROPERTY LINE

#19 W 10TH STREET

#17 W 10TH STREET



#23 W 10TH STREET

#21 W 10TH STREET

#19 W 10TH STREET

01 EXISTING FRONT ELEVATION (LEFT TO RIGHT) #23 #21 #19 WEST 10TH STREET (SOUTH FACING)  
LC-04 3/16" = 1'-0"

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CONTEXT ELEVATION AND  
PHOTOS

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	Drawn By: PPA
	Drawing No. LC-04
Project No. 3660	5 of 20



PETER PENNOYER  
ARCHITECTS

136 Madison Avenue, 11th Floor, NYC 10016  
Telephone 212 779 9765

GENERAL SCOPE OF WORK:

- TO RESTORE EXISTING FACADE:
1. REPLACE EXISTING NON ORIGINAL ENTRY AND SERVICE DOORS.
  2. REPLACE ALL DOUBLE-HUNG WINDOWS INCLUDING FRAME AND SASH TO MATCH EXISTING.
  3. REPLACE ALL DECORATIVE METALWORK.
  4. RESTORE STONework AS REQUIRED.
  5. TUCK-POINT ENTIRE BRICK FACADE (MATCH ORIGINAL GROUT COLOR).
  6. REPLACE ANY CRACKED BRICK TO MATCH EXISTING.

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PROPOSED FRONT (SOUTH)  
ELEVATION RENDERING

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	Trade:	VARIES
	Drawn By:	PPA
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EXISTING AND PROPOSED FRONT  
(SOUTH) ELEVATION

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	Scale: 1/4" = 1'-0"
	Drawn By: PPA
	Drawing No. LC-06
Project No. 3660	7 of 20



01  
LC-07

EXISTING 21 W10TH AREAWAY FENCE PHOTO

N.T.S.



02  
LC-07

EXISTING 19 W10TH AREAWAY FENCE PHOTO

N.T.S.

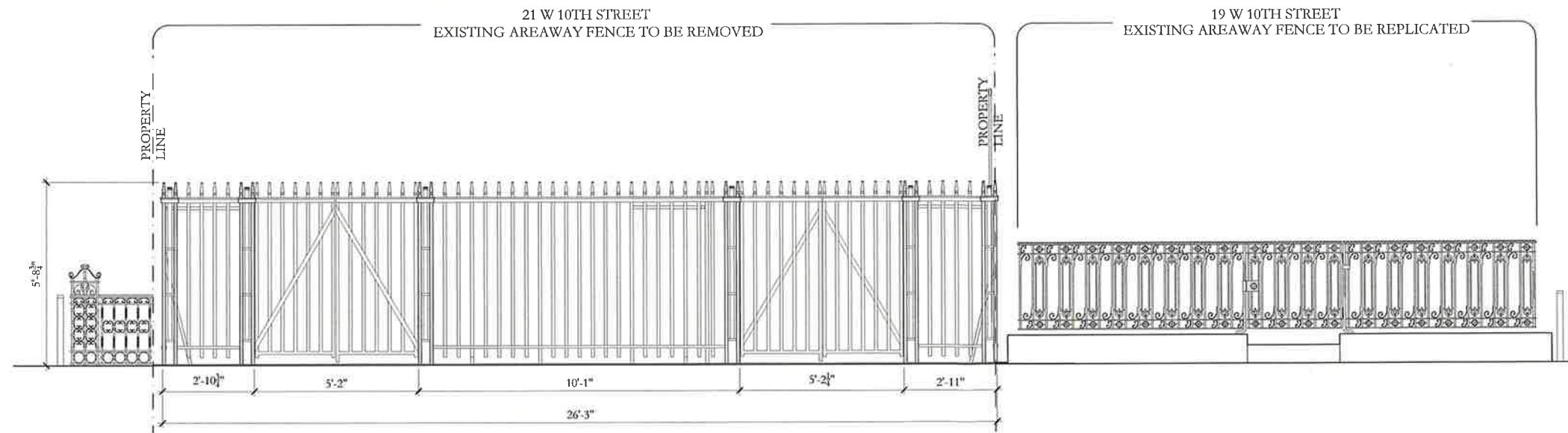
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EXISTING AND PROPOSED  
AREAWAY FENCE PHOTOS

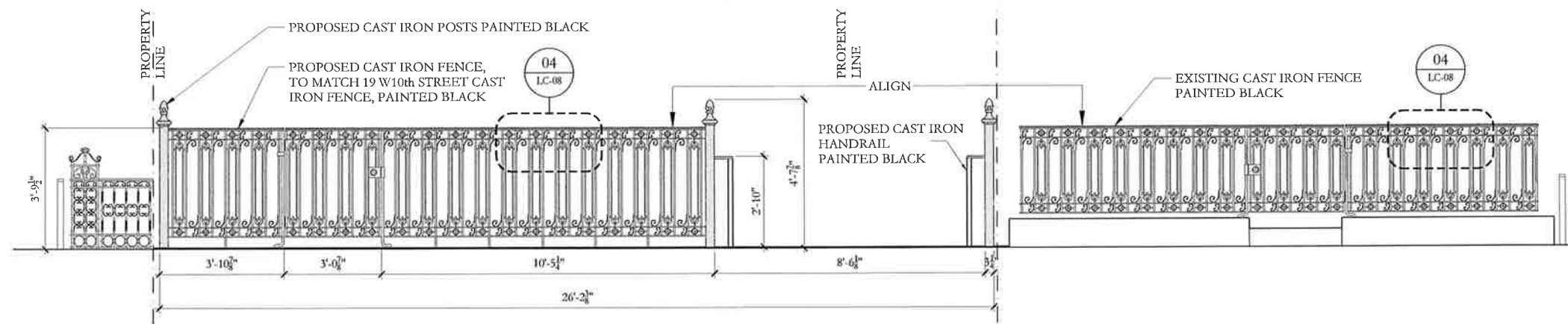
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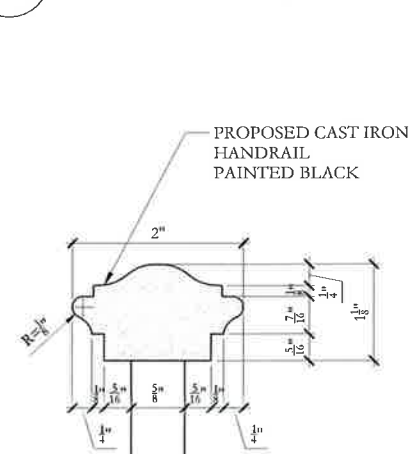
01 EXISTING AREAWAY FENCE  
LC-08

1/2" = 1'-0"



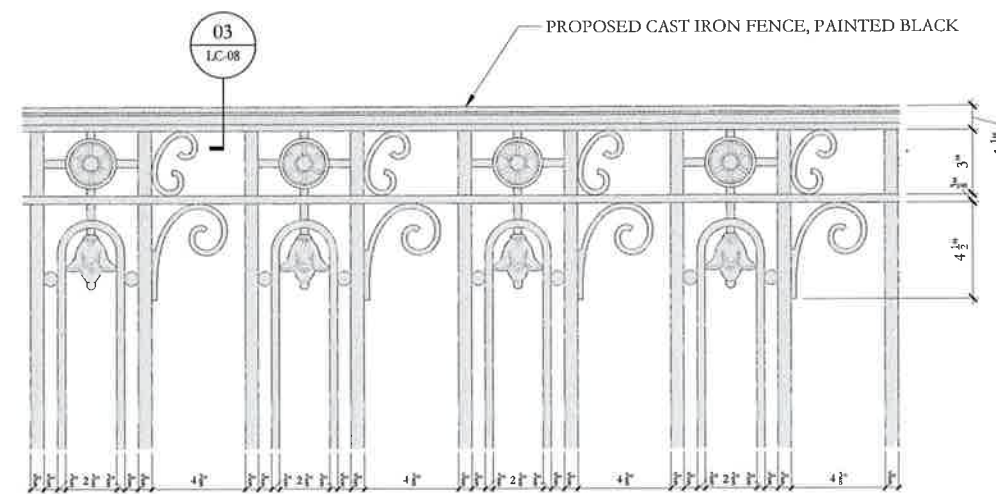
02 PROPOSED AREAWAY FENCE  
LC-08

1/2" = 1'-0"



03 HANDRAIL PROFILE DETAIL  
LC-08

1'-0" = 1'-0"



04 PROPOSED ORNAMENT DETAIL AT AREAWAY FENCE  
LC-08

3" = 1'-0"



05 PHOTO OF EXISTING AREAWAY FENCE AT 19 W 10TH STREET  
LC-08

N.T.S.

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EXISTING AND PROPOSED  
AREAWAY FENCE DETAILS

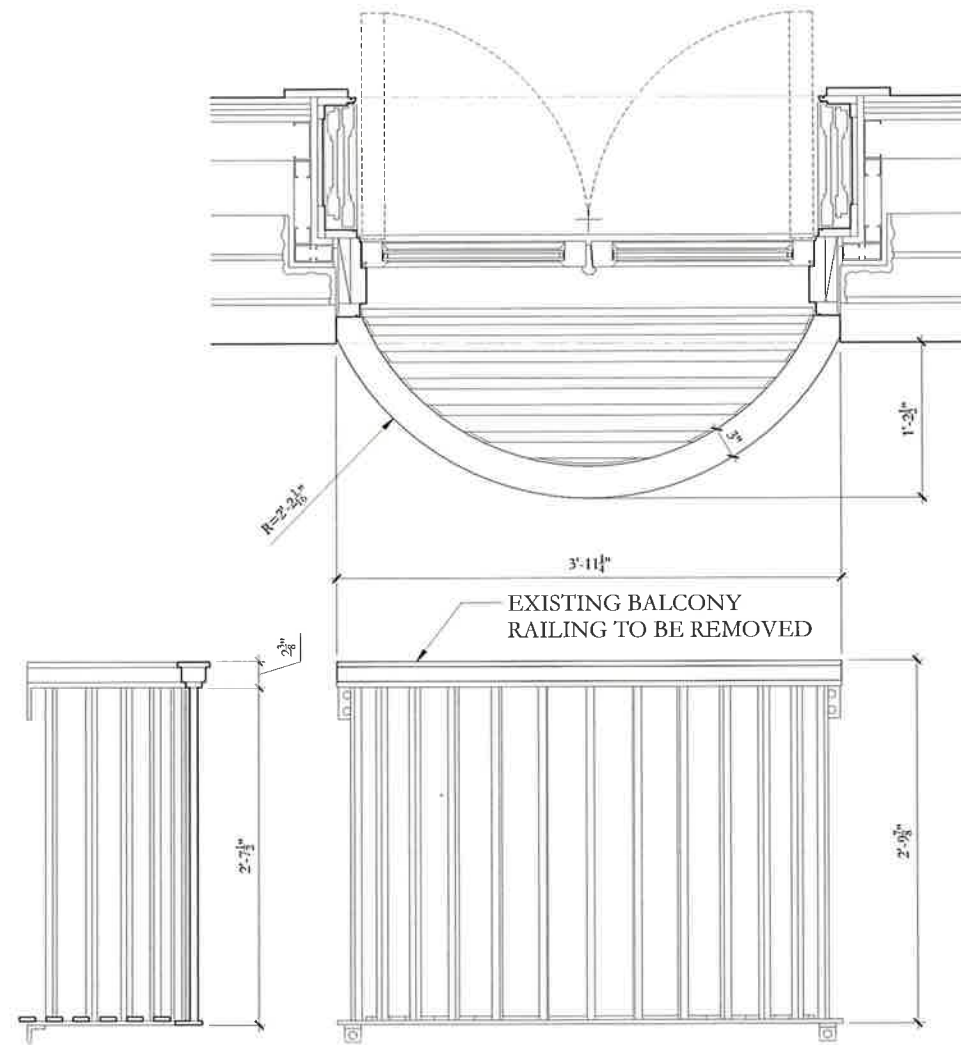
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	Drawing No.	LC-08
	Project No.	3660
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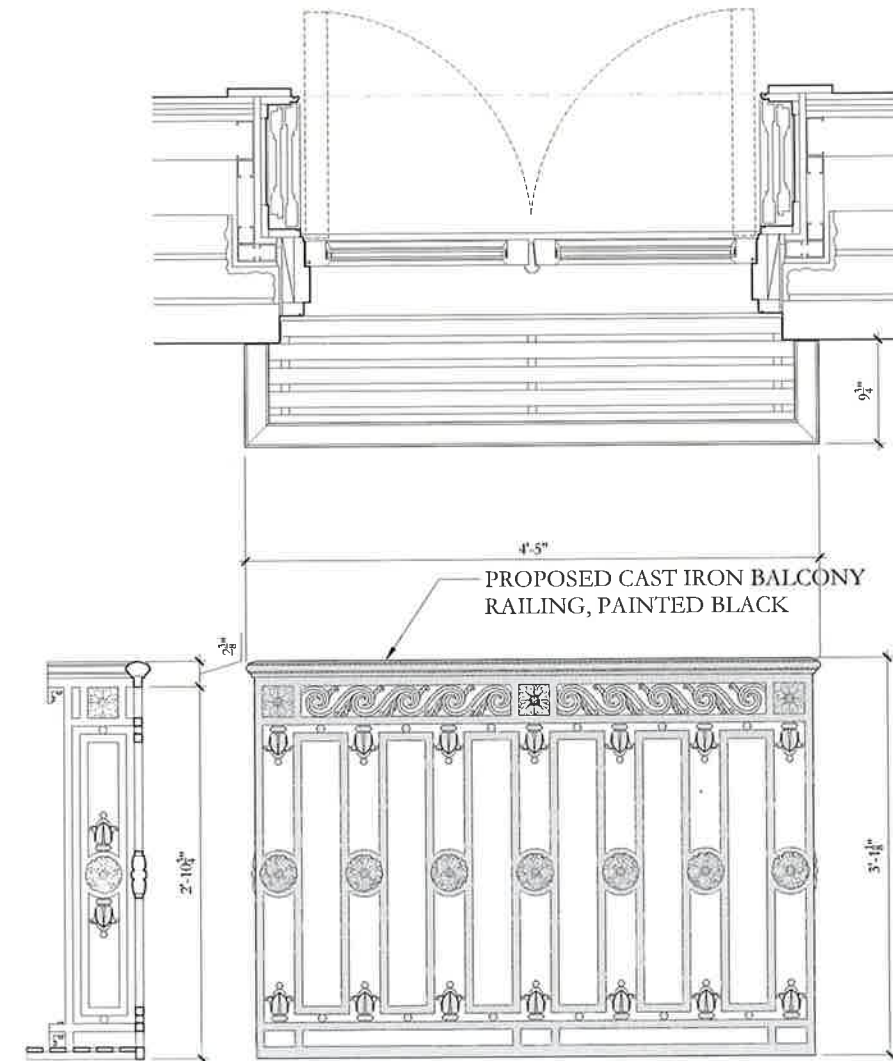
04 PHOTO OF EXISTING BALCONY RAILING  
LC-09 N.T.S.



01 PHOTO OF NEIGHBORING RAILING ORNAMENT AT 15 E 10TH STREET  
LC-09 N.T.S.



02 EXISTING FIRST FLOOR BALCONY RAILING  
LC-09 1 1/2" = 1'-0"



03 PROPOSED FIRST FLOOR BALCONY RAILING  
LC-09 1 1/2" = 1'-0"

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EXISTING AND PROPOSED  
BALCONY RAIL DETAILS

Seal and Signature:	Date:	11.09.16
	Scale:	VARIES
	Drawn By:	PPA
	Drawing No:	LC-09
Project No:	3660	10 of 20

GENERAL NOTES:

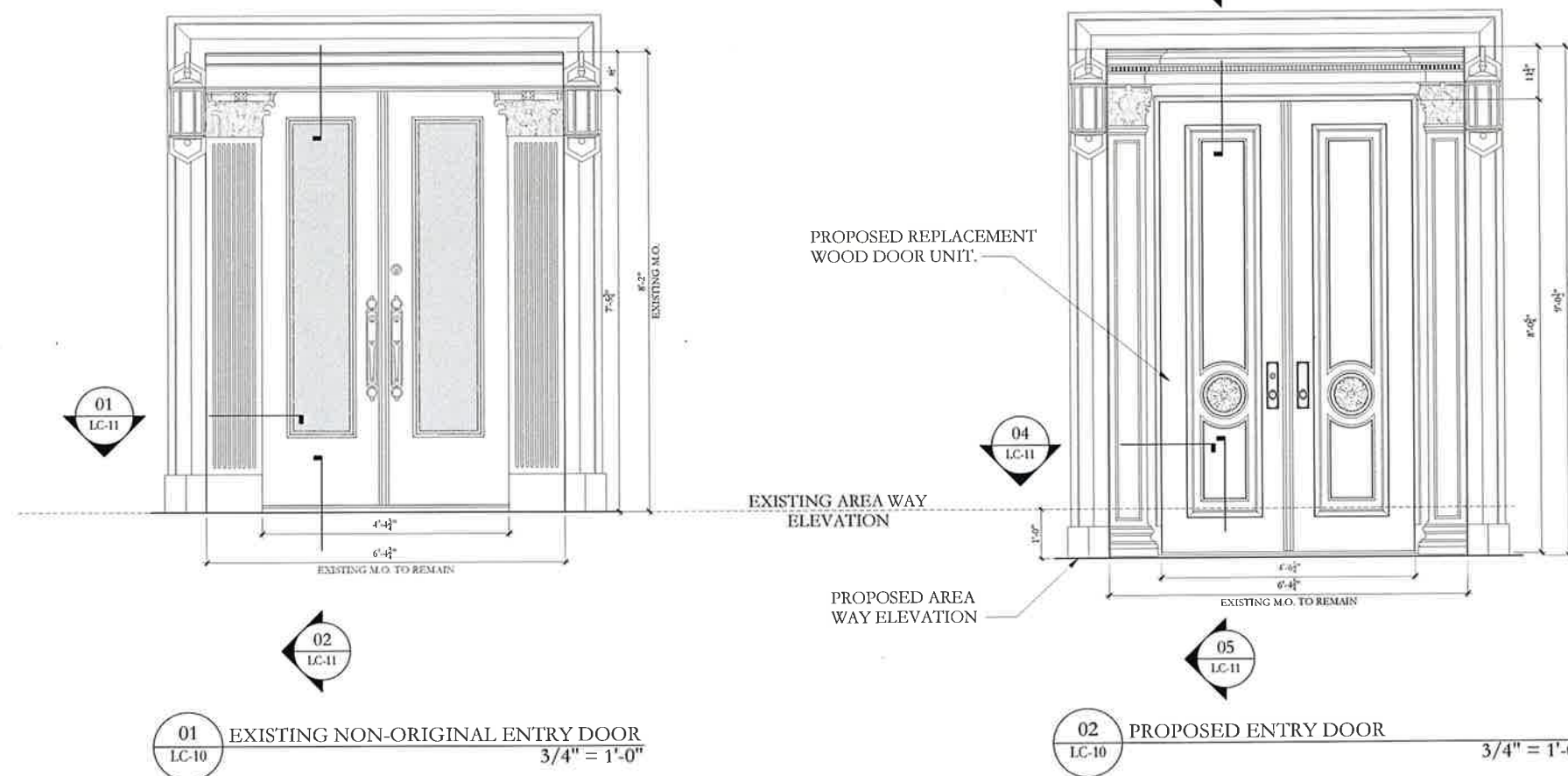
1. REPLACEMENT DOOR WIDTH TO BE WITHIN EXISTING MASONRY OPENING WIDTH.
2. HEIGHT OF EXISTING MASONRY HEADERS TO REMAIN.
3. PAINT OF REPLACEMENT WOOD DOOR TO MATCH EXISTING EXTERIOR PAINT COLORS.



03 EXISTING NON-ORIGINAL ENTRY DOOR  
LC-01 NTS



04 CONCEPT REFERENCE - ENTRY DOOR AT #37  
LC-01 WEST 10th STREET NTS



01 EXISTING NON-ORIGINAL ENTRY DOOR  
LC-10 3/4" = 1'-0"

02 PROPOSED ENTRY DOOR  
LC-10 3/4" = 1'-0"

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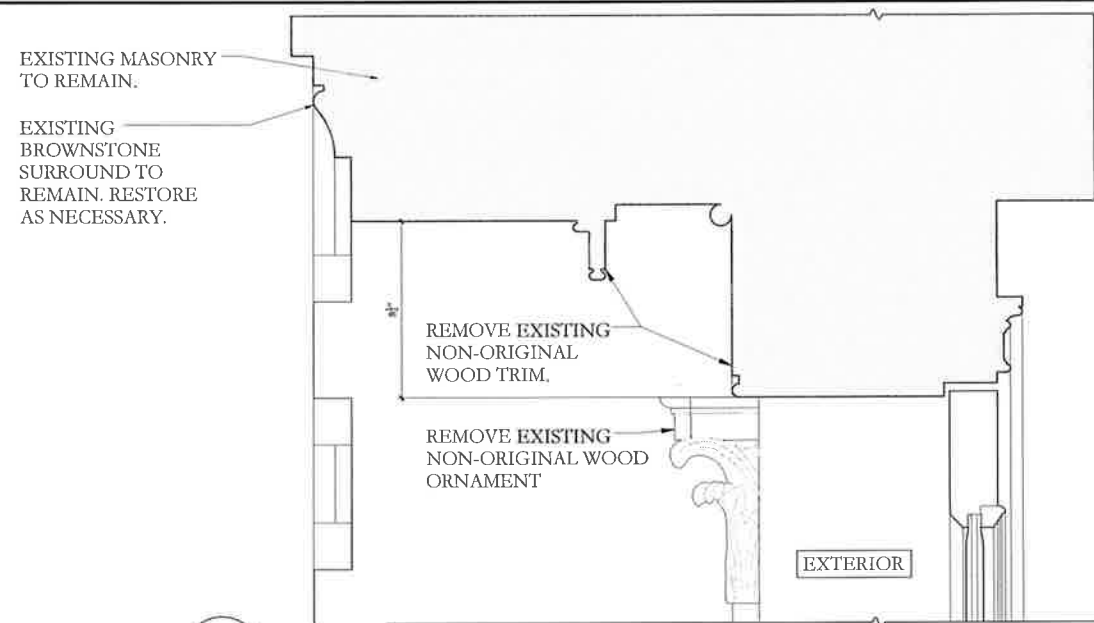
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EXISTING AND PROPOSED ENTRY DOOR

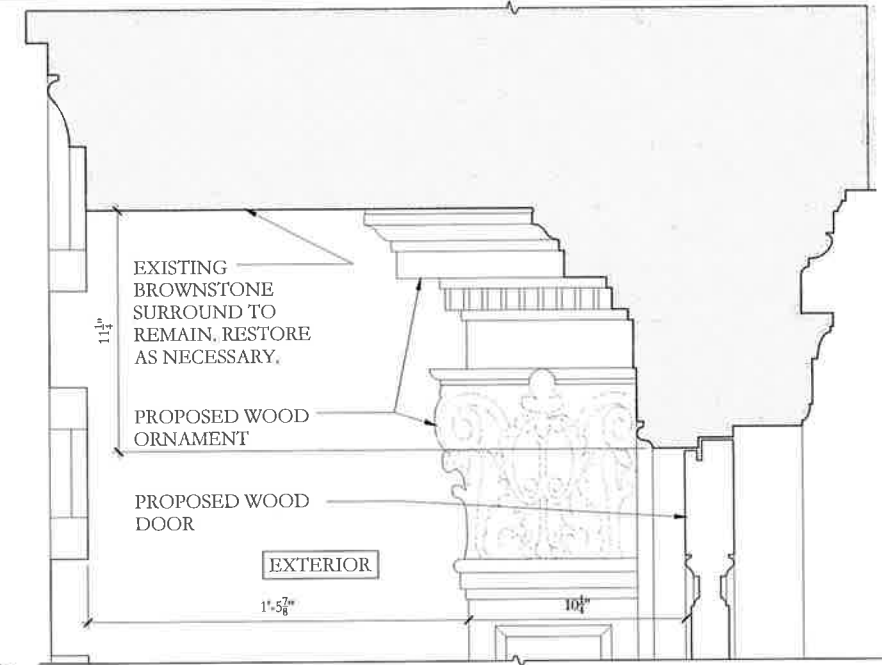
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	Drawing No.:	LC-10
Project No.:	3660	11 of 20

GENERAL NOTES:

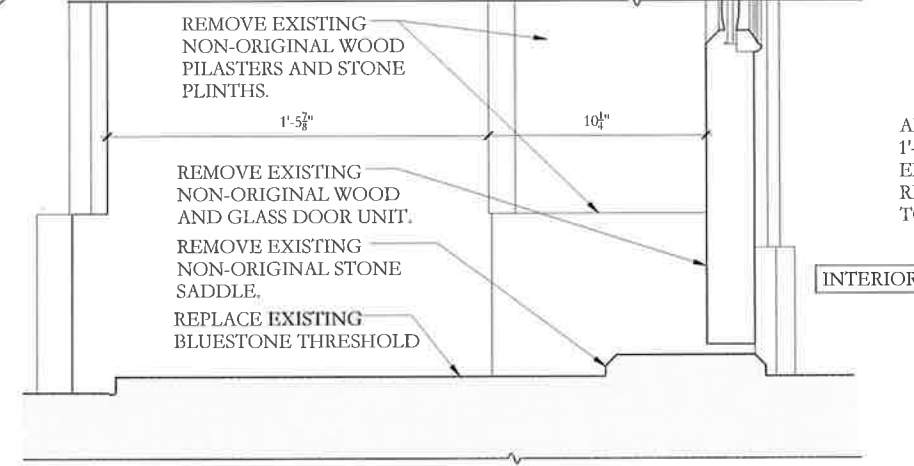
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2. HEIGHT OF EXISTING MASONRY HEADERS TO REMAIN.



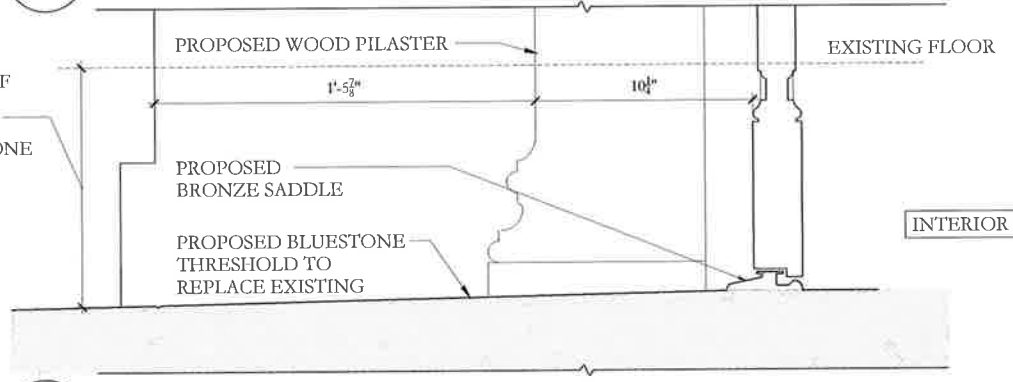
03 EXISTING HEAD CONDITION  
LC-11 3" = 1'-0"



06 PROPOSED HEAD CONDITION  
LC-11 3" = 1'-0"

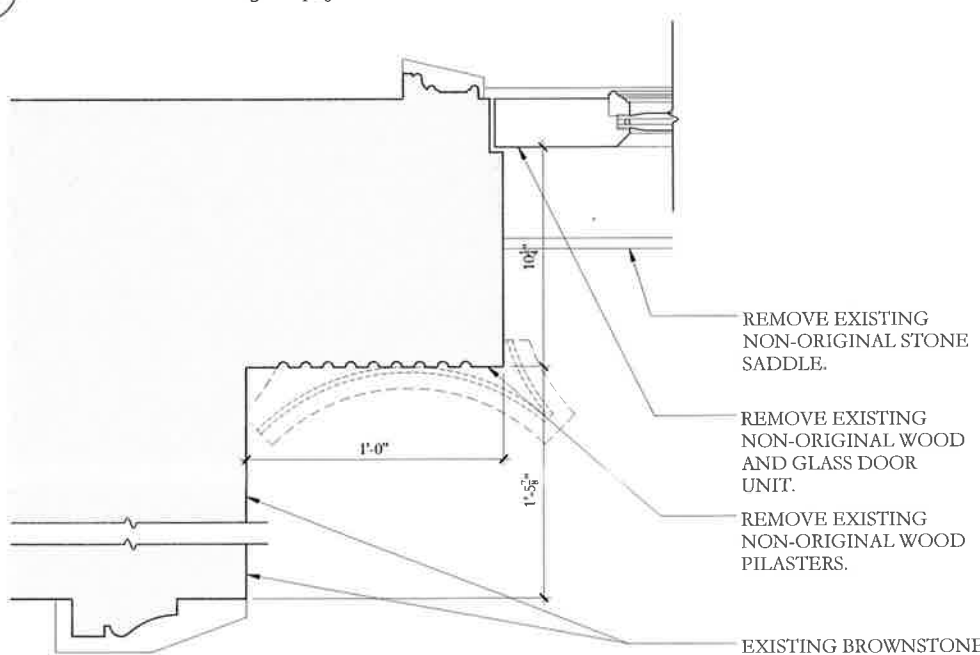


02 EXISTING SILL CONDITION  
LC-11 3" = 1'-0"

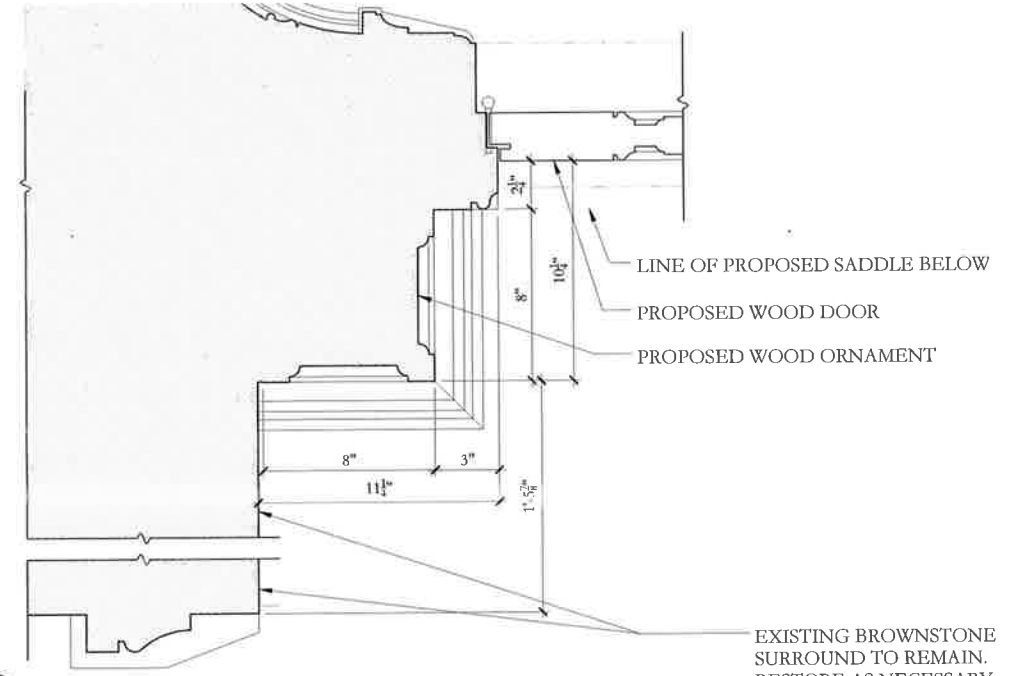


05 PROPOSED SILL CONDITION  
LC-11 3" = 1'-0"

AREA OF GRADE CHANGE OF 1'-0" AT AREAWAY; RESTORE EXISTING BROWNSTONE AS REQUIRED; NEW BROWNSTONE TO MATCH EXISTING



01 EXISTING JAMB CONDITION  
LC-11 3" = 1'-0"



04 PROPOSED JAMB CONDITION  
LC-11 3" = 1'-0"

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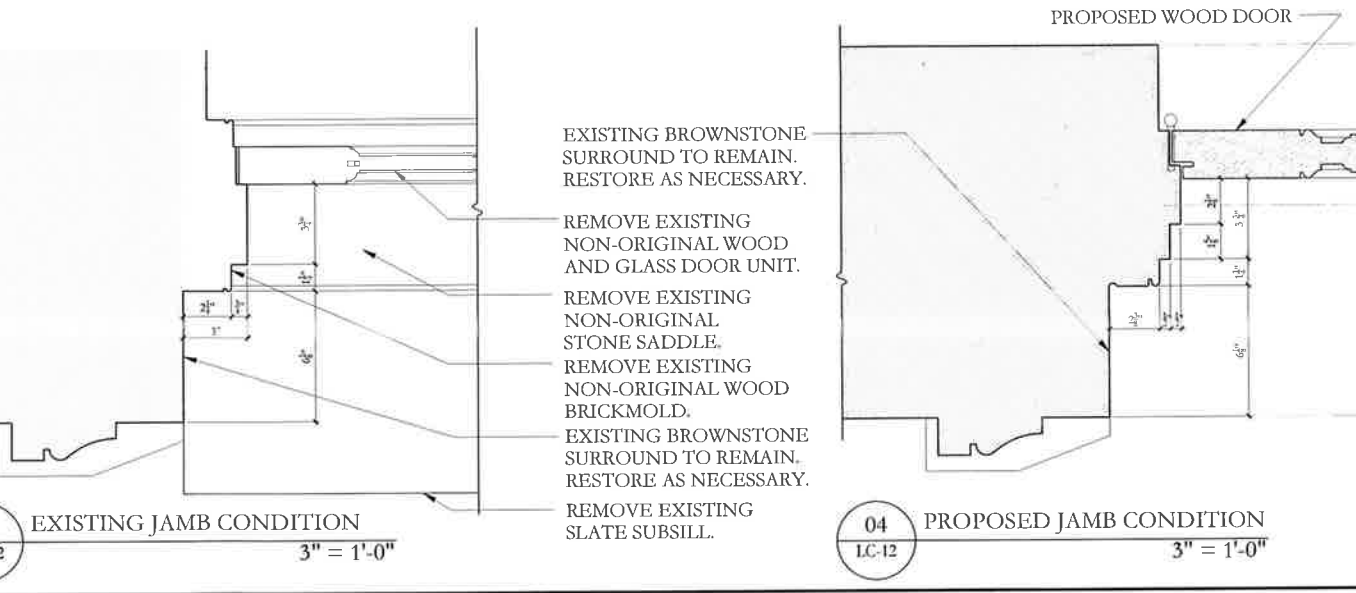
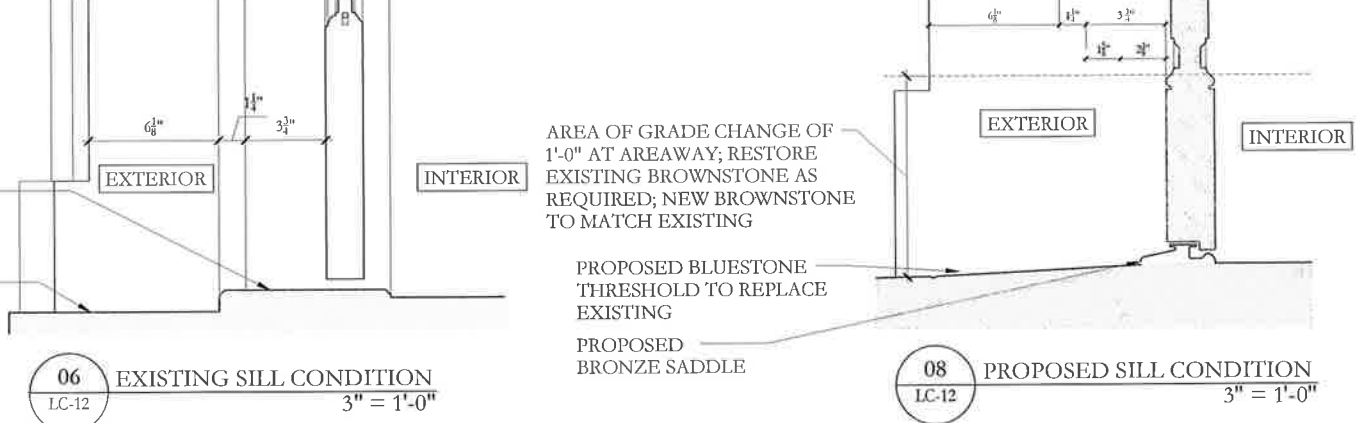
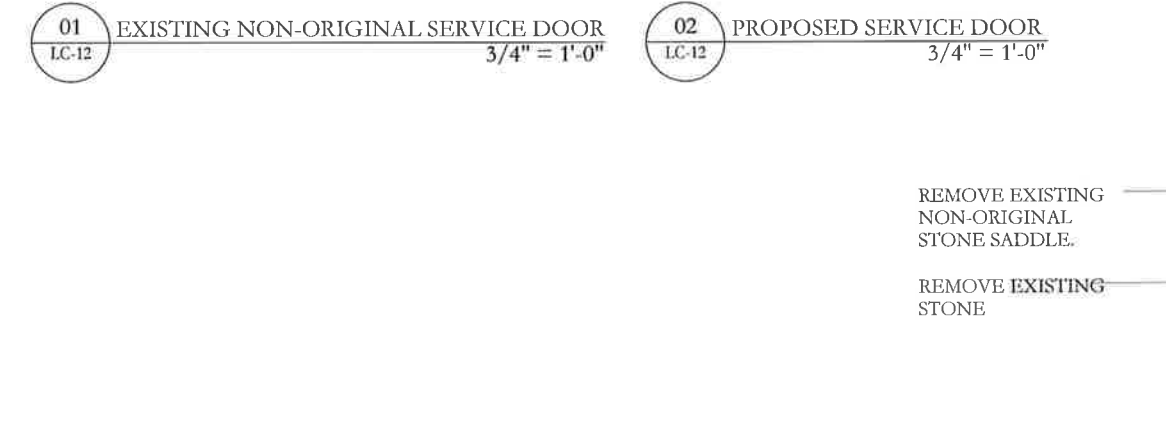
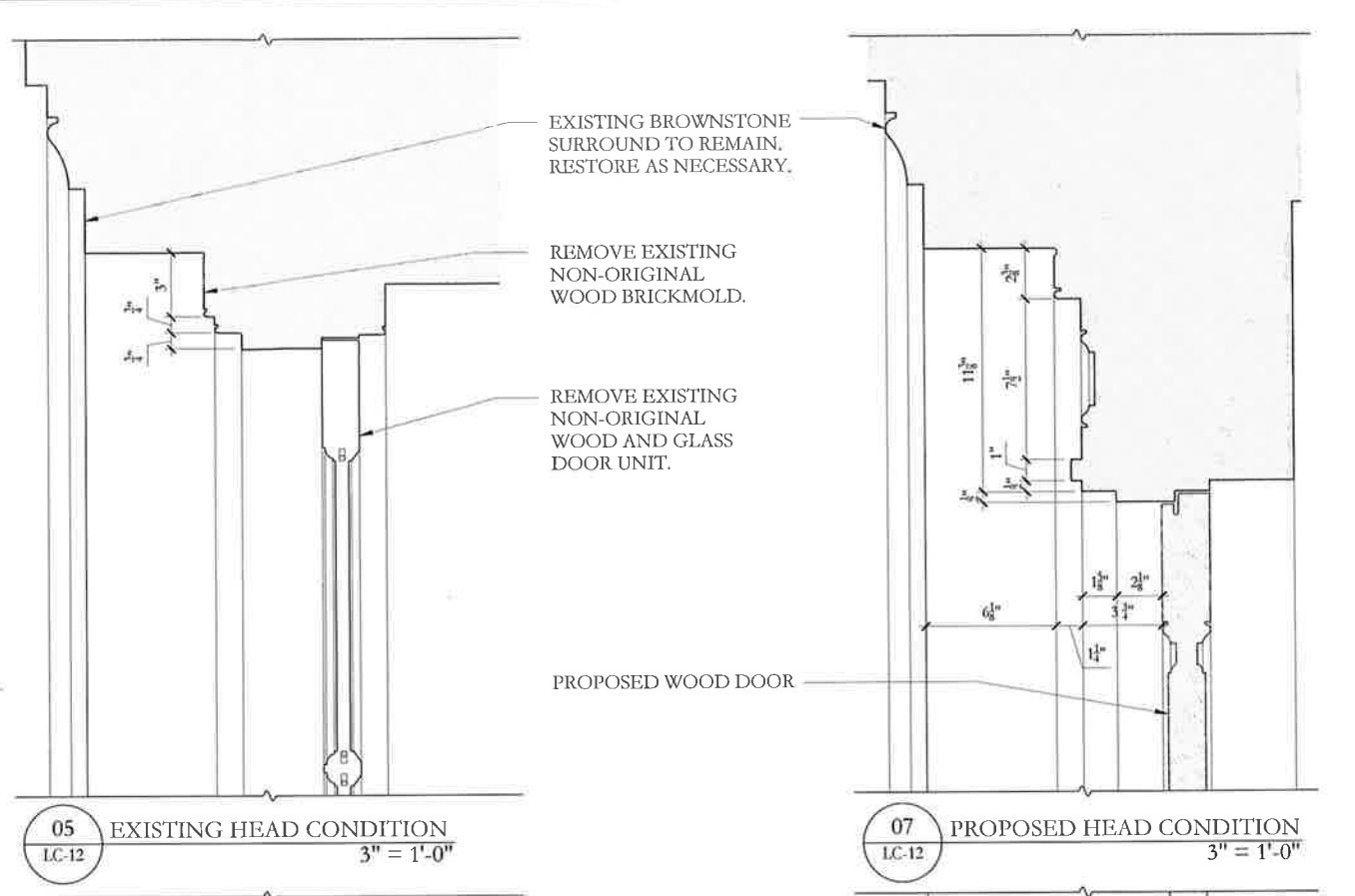
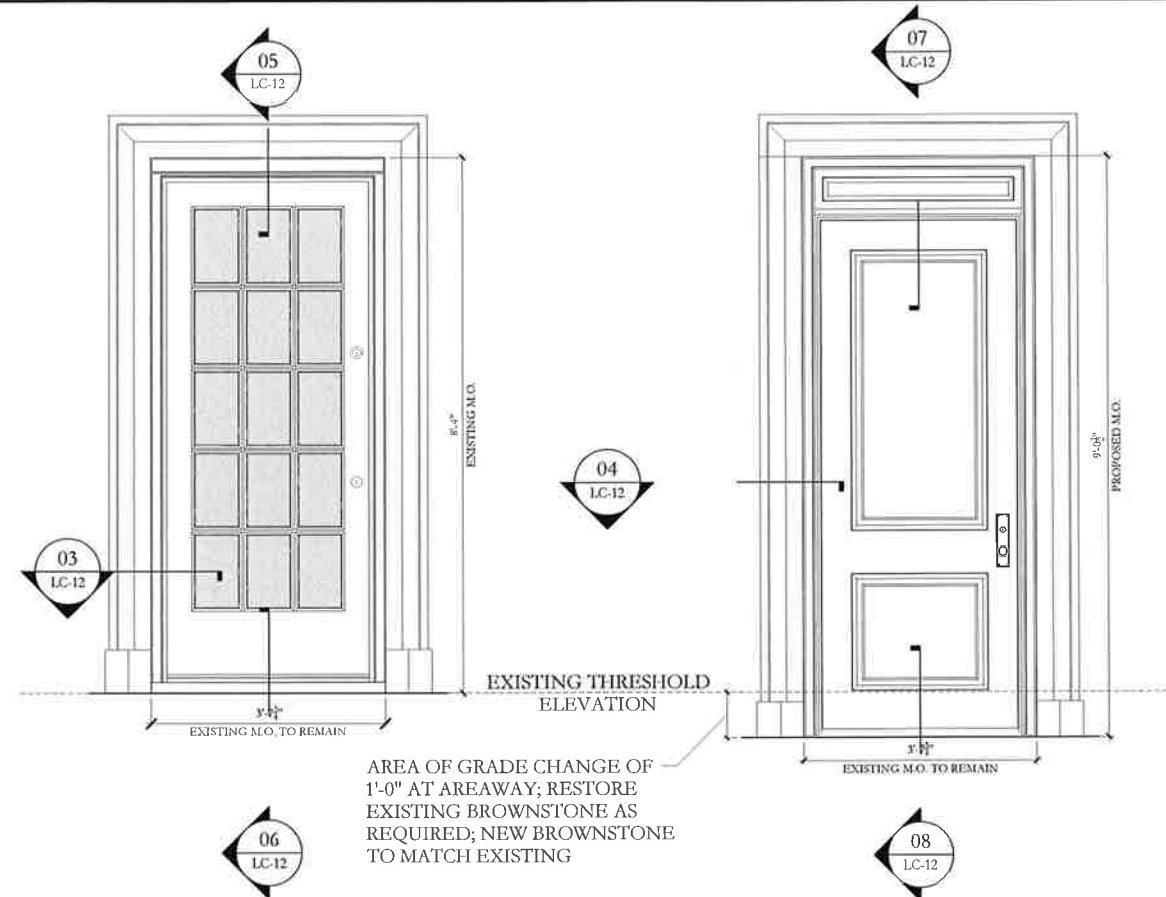
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21 WEST 10TH STREET  
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EXISTING AND PROPOSED ENTRY DOOR - DETAILS

Scale and Signature:	Date: 11.09.16
	Scale: 3" = 1'-0"
	Drawn By: PPA
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GENERAL NOTES:

- REPLACEMENT DOOR TO BE WITHIN EXISTING MASONRY OPENING.



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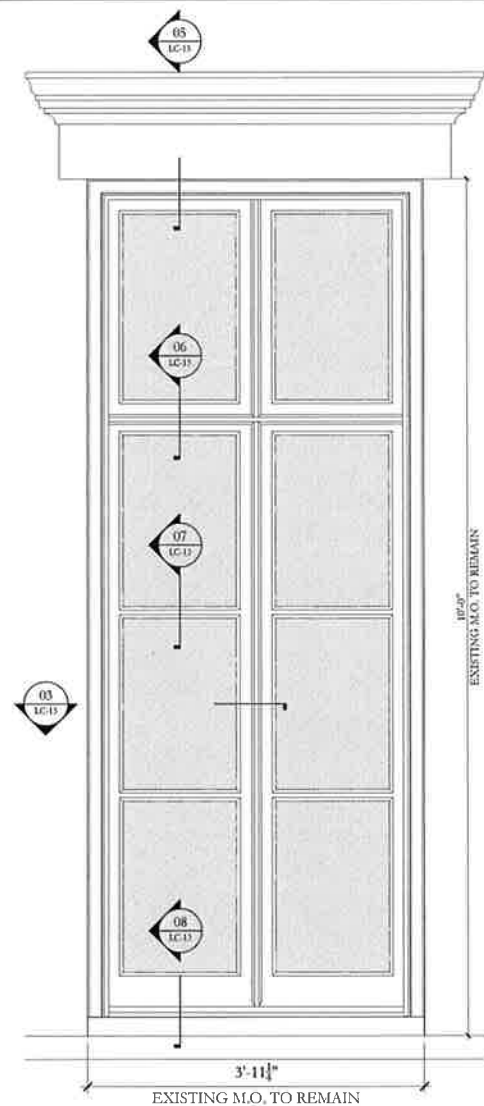
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EXISTING AND PROPOSED  
SERVICE DOOR

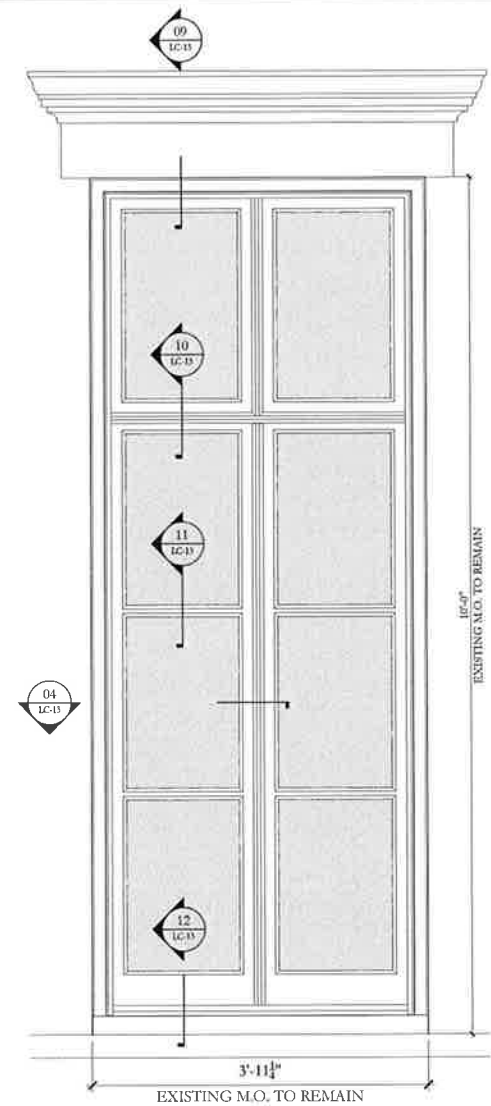
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	Scale: VARIES
	Drawn By: PPA
	Drawing No: LC-12
	Project No: 3660
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GENERAL NOTES:

- REPLACEMENT DOORS TO BE WITHIN EXISTING MASONRY OPENING.



01 EXISTING FRENCH DOOR  
1" = 1'-0"



02 PROPOSED FRENCH DOOR  
1" = 1'-0"

EXISTING MASONRY TO REMAIN.  
EXISTING BROWNSTONE LINTEL TO REMAIN. RESTORE AS NECESSARY.  
REMOVE EXISTING WOOD BRICKMOLD.

REMOVE EXISTING WOOD FIXED TRANSOM WINDOW.

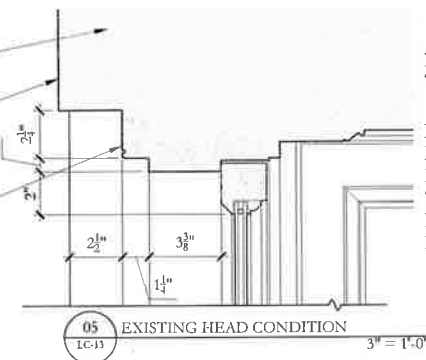
REMOVE EXISTING WOOD FRENCH DOORS.

REMOVE EXISTING WOOD SILL.

EXISTING BROWNSTONE COURSE TO REMAIN. RESTORE AS NECESSARY.

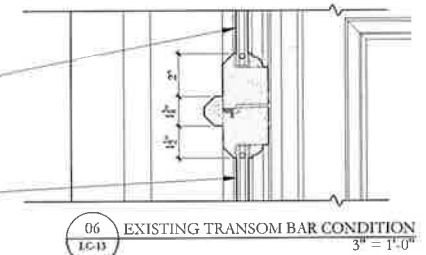
EXISTING BROWNSTONE COURSE TO REMAIN. RESTORE AS NECESSARY.

AREA OF GRADE CHANGE OF 1'-0" AT AREAWAY; RESTORE EXISTING BROWNSTONE AS REQUIRED; NEW BROWNSTONE TO MATCH EXISTING

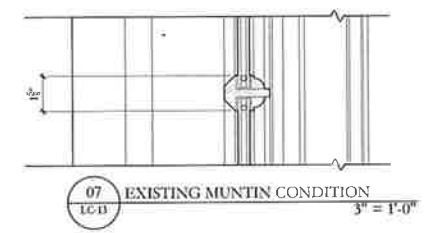


05 EXISTING HEAD CONDITION  
3" = 1'-0"

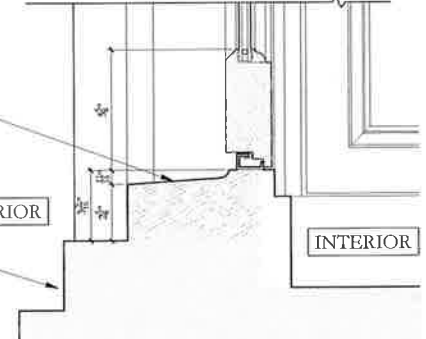
EXISTING MASONRY TO REMAIN.  
EXISTING BROWNSTONE LINTEL TO REMAIN. RESTORE AS NECESSARY.



06 EXISTING TRANSOM BAR CONDITION  
3" = 1'-0"



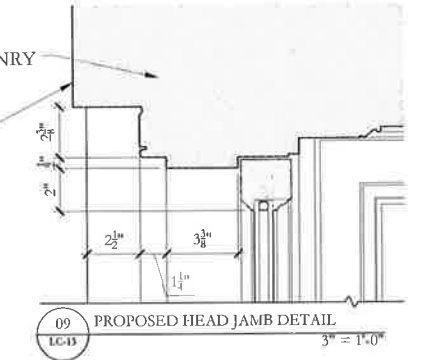
07 EXISTING MUNTIN CONDITION  
3" = 1'-0"



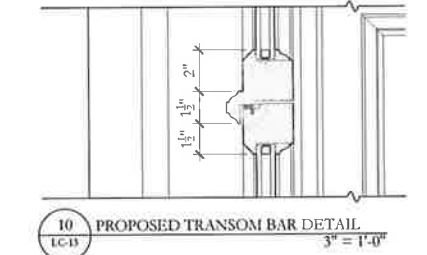
08 EXISTING SILL CONDITION  
3" = 1'-0"

REPLACEMENT FRENCH DOOR  
REPLACEMENT WOOD SILL

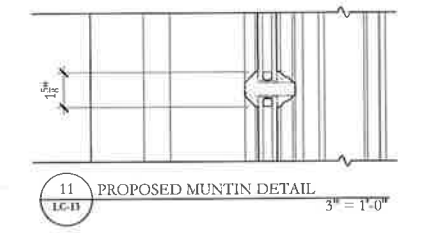
EXISTING BROWNSTONE COURSE TO REMAIN. RESTORE AS NECESSARY.



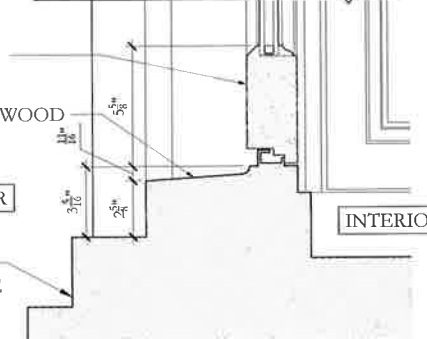
09 PROPOSED HEAD JAMB DETAIL  
3" = 1'-0"



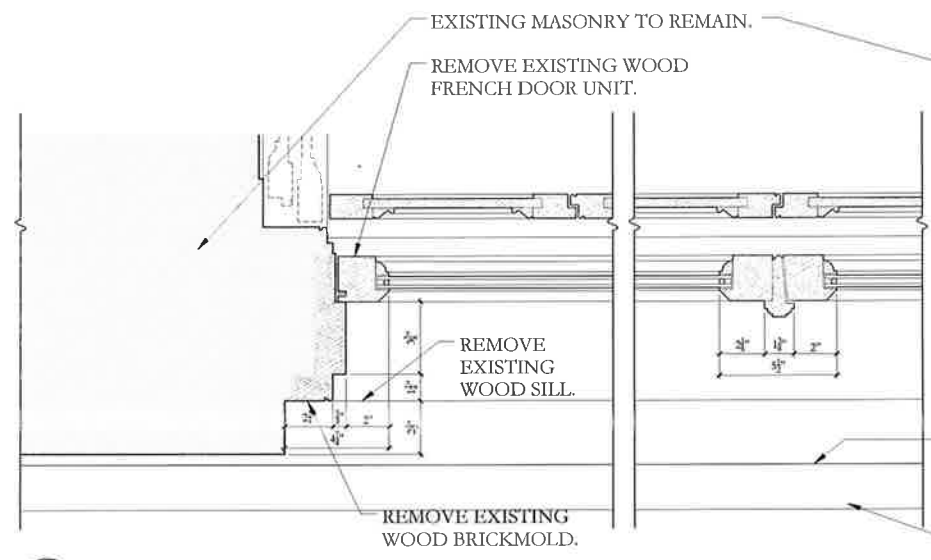
10 PROPOSED TRANSOM BAR DETAIL  
3" = 1'-0"



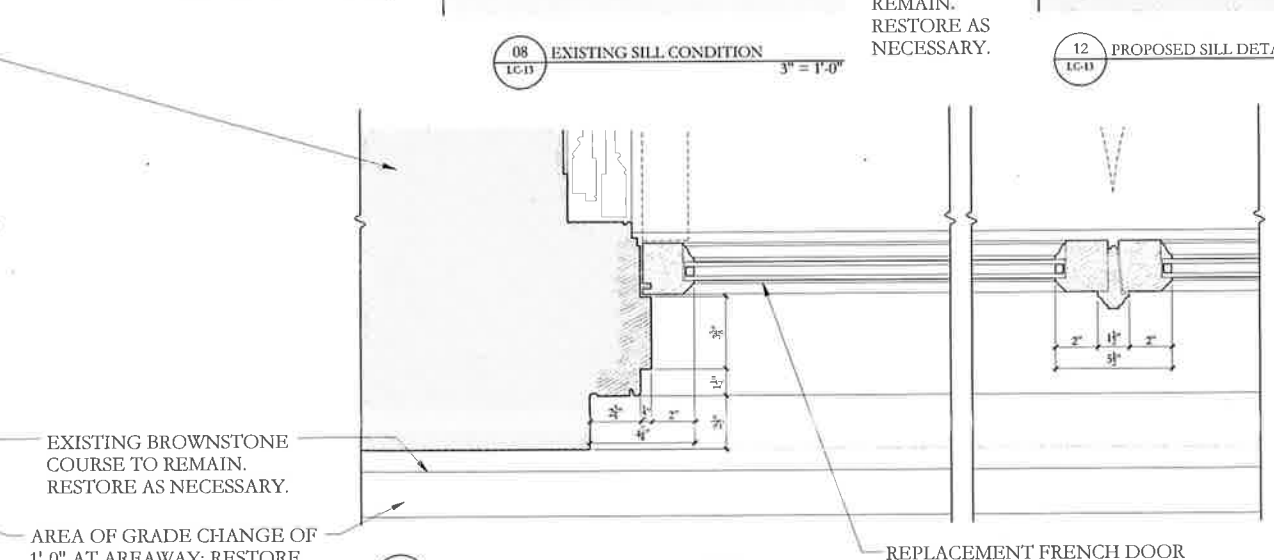
11 PROPOSED MUNTIN DETAIL  
3" = 1'-0"



12 PROPOSED SILL DETAIL  
3" = 1'-0"



03 EXISTING JAMB AND ASTRAGAL CONDITION  
3" = 1'-0"



04 PROPOSED JAMB AND ASTRAGAL DETAIL  
3" = 1'-0"

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EXISTING AND PROPOSED FRENCH DOOR

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	Drawing No: LC-13
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03 EXISTING REAR ELEVATION - VIEW OF 2ND THROUGH 4TH FLOOR WINDOWS  
LC-14

NTS



02 EXISTING REAR ELEVATION - VIEW OF 1ST FLOOR WINDOWS  
LC-14

NTS



01 EXISTING REAR ELEVATION - VIEW OF BASEMENT FLOOR AT REAR GARDEN  
LC-14

NTS

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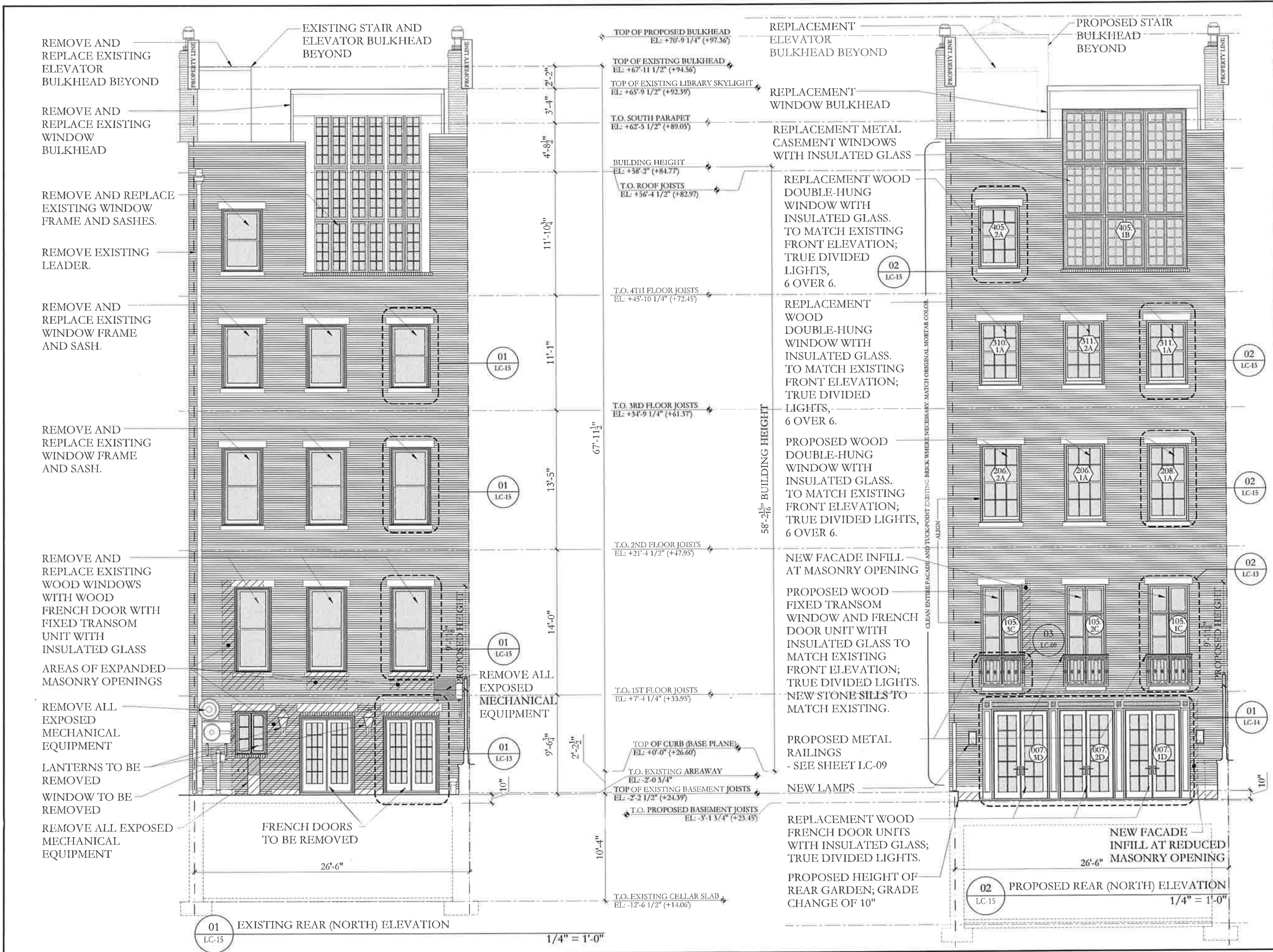
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EXISTING REAR (NORTH)  
ELEVATION PHOTOS

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	Scale:	VARIES
	Drawn By:	PPA
	Drawing No.:	LC-14
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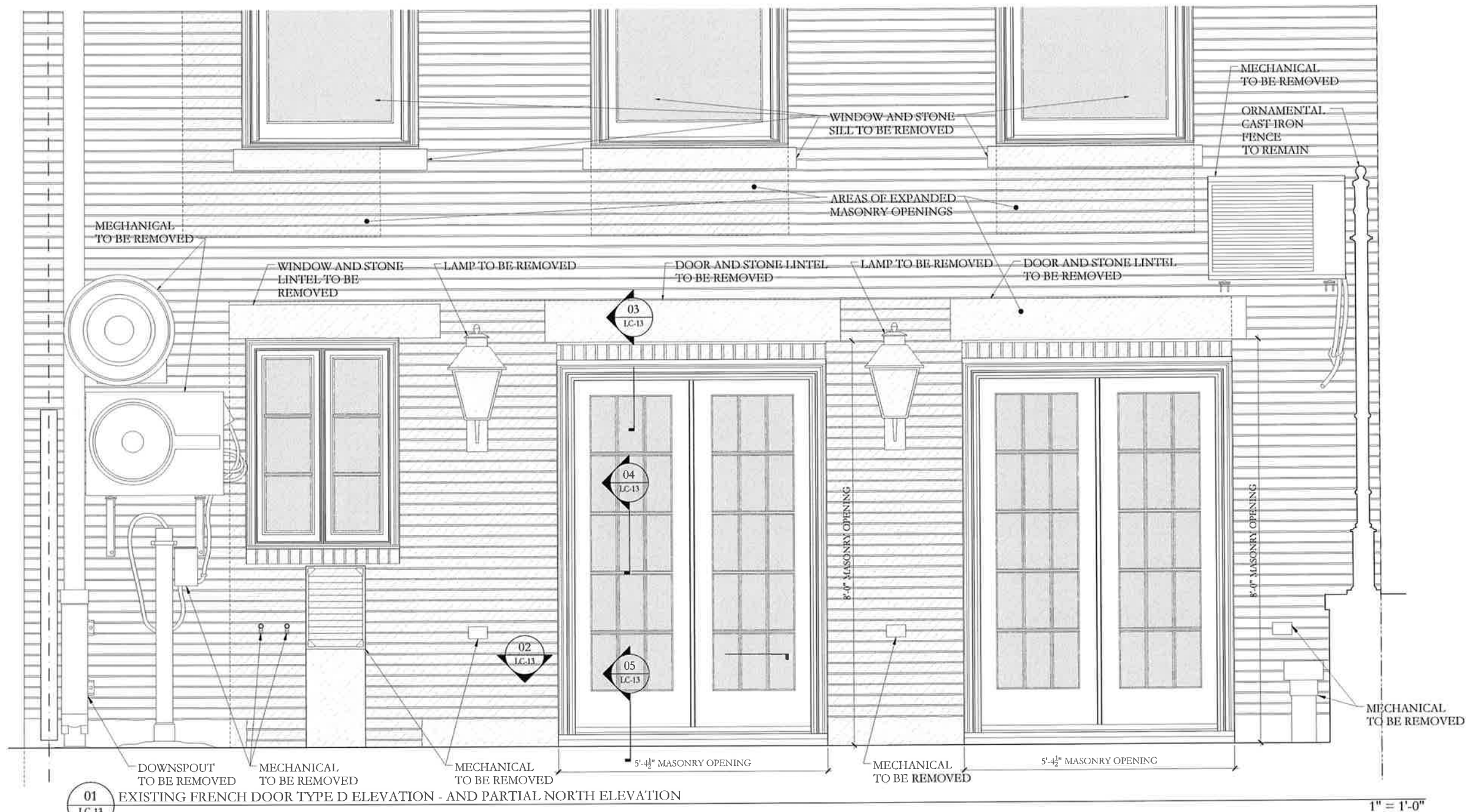
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EXISTING AND PROPOSED REAR (NORTH) ELEVATION

Scale and Signature:	Date: 11.09.16
	Scale: 1/4" = 1'-0"
	Drawn By: PPA
	Drawing No: LC-15
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01  
LC-13

EXISTING FRENCH DOOR TYPE D ELEVATION - AND PARTIAL NORTH ELEVATION

1" = 1'-0"

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EXISTING FRENCH DOOR

Scale and Signature:

Date: 11.09.16

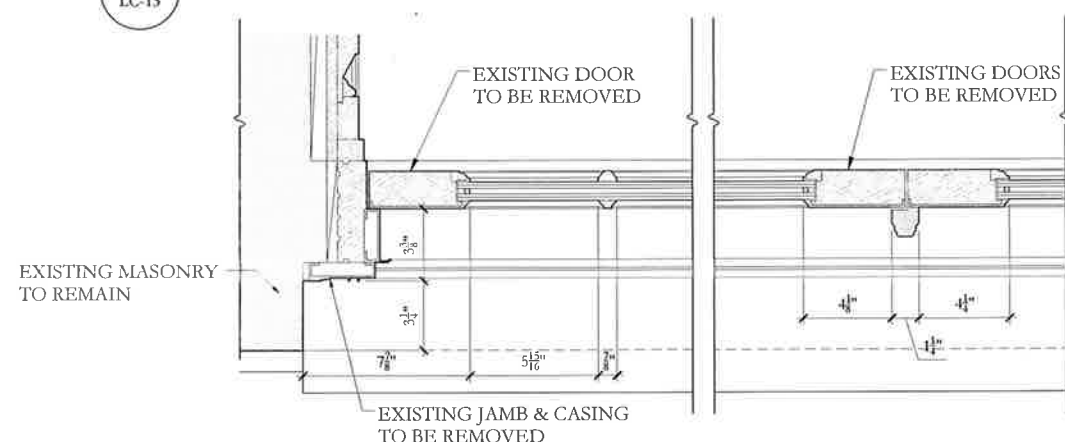
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Drawn By: PPA

Drawing No. LC-16

Project No. 3660

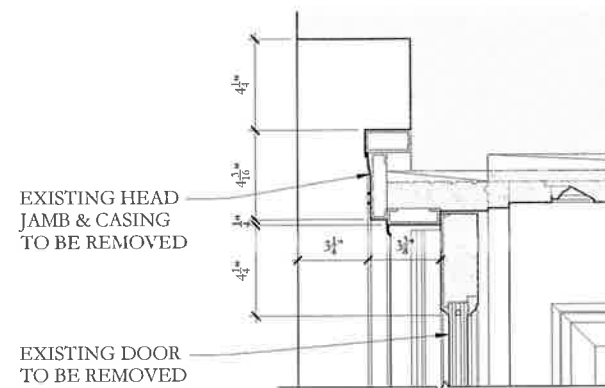
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02  
LC-13

EXISTING DOOR JAMB & ASTRAGAL CONDITION

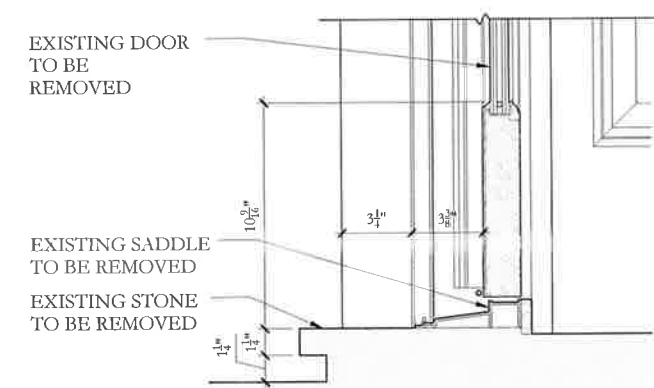
3" = 1'-0"



03  
LC-13

EXISTING DOOR HEAD CONDITION

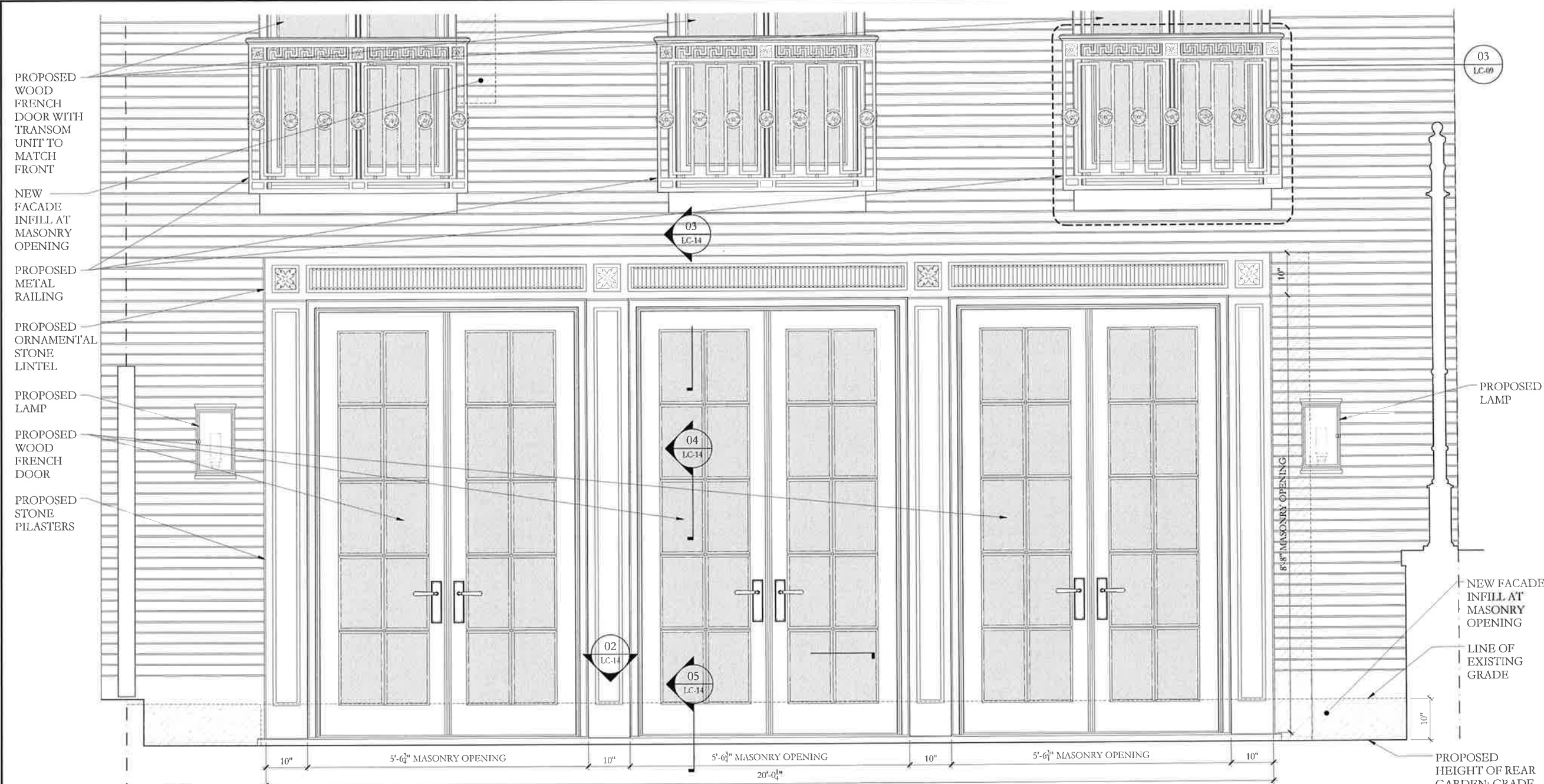
3" = 1'-0"



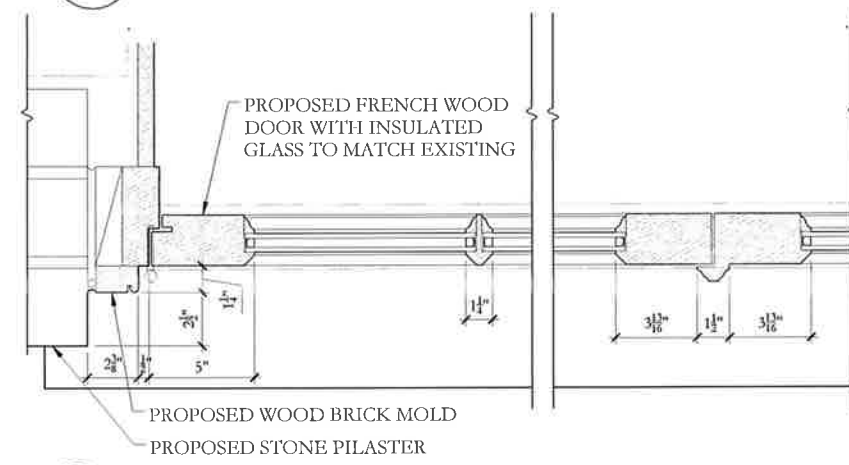
04  
LC-13

EXISTING DOOR SILL CONDITION

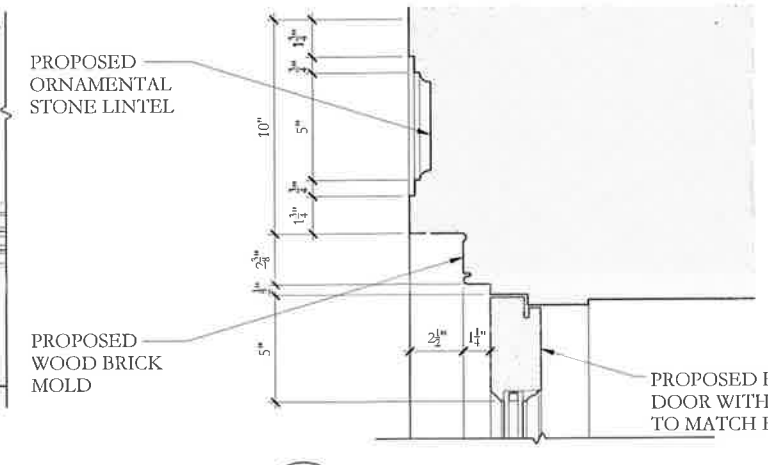
3" = 1'-0"



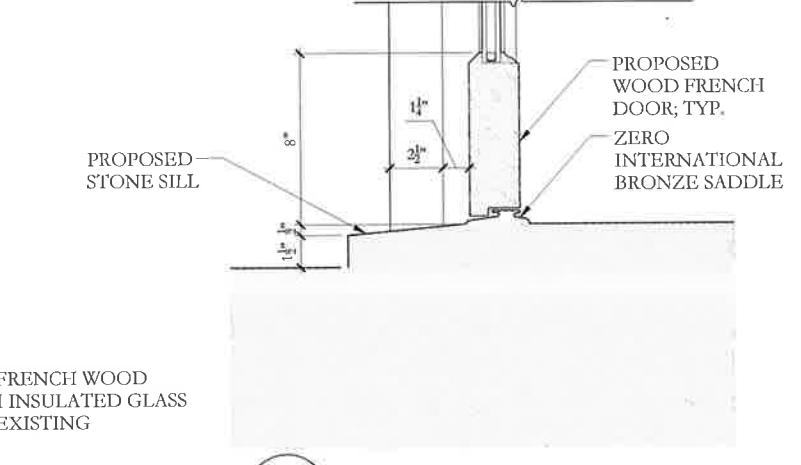
01 LC-14 PROPOSED FRENCH DOOR TYPE D ELEVATION - AND PARTIAL NORTH ELEVATION



02 LC-14 PROPOSED DOOR JAMB & ASTRAGAL DETAIL  
3" = 1'-0"



03 LC-14 PROPOSED DOOR HEAD DETAIL  
3" = 1'-0"



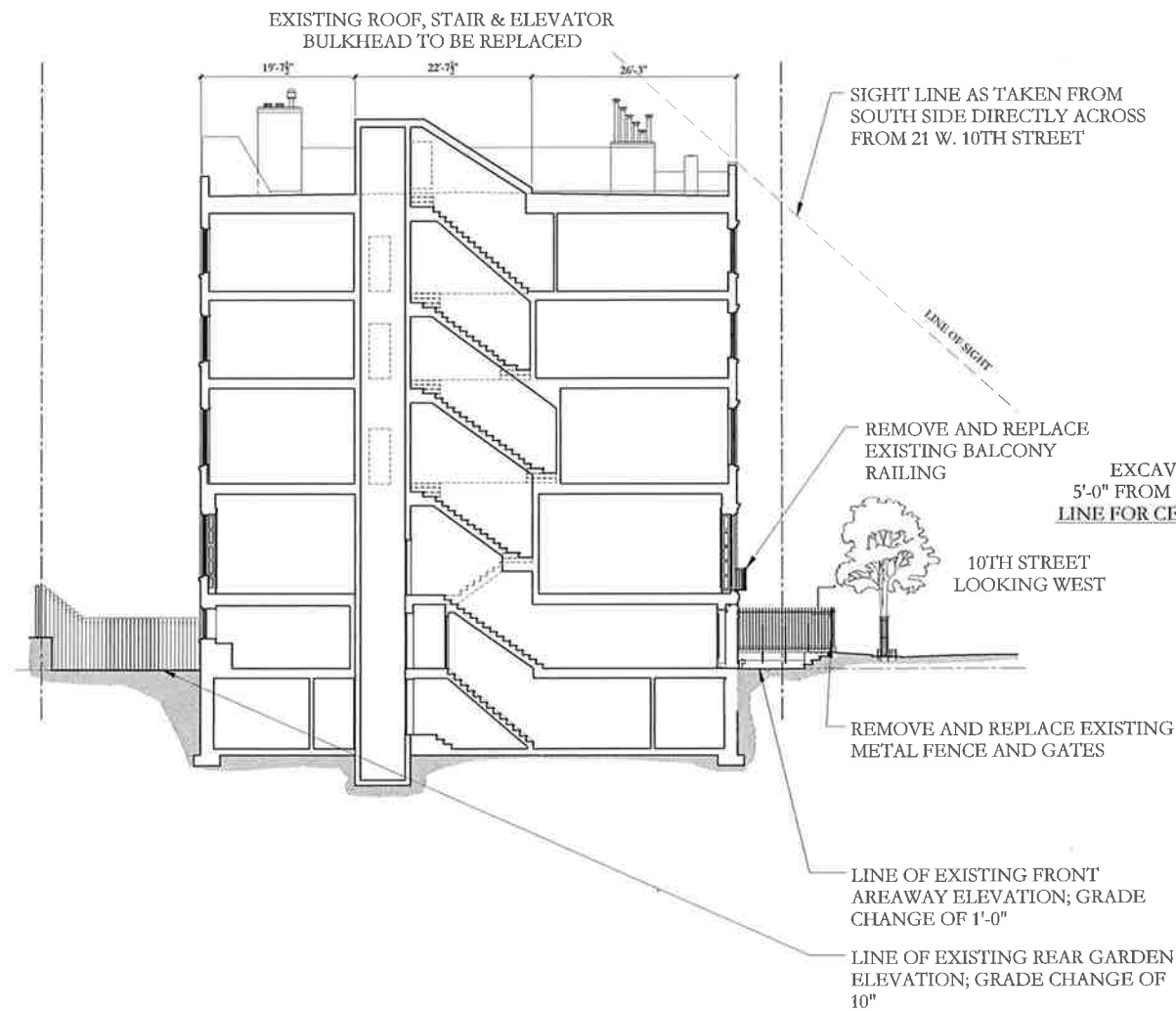
04 LC-14 PROPOSED DOOR SILL DETAIL  
3" = 1'-0"

REISSUED TO LPC 01/12/2017  
LPC FILING SET 11/09/2016  
ISSUE: DATE

Project: 21 WEST 10TH STREET  
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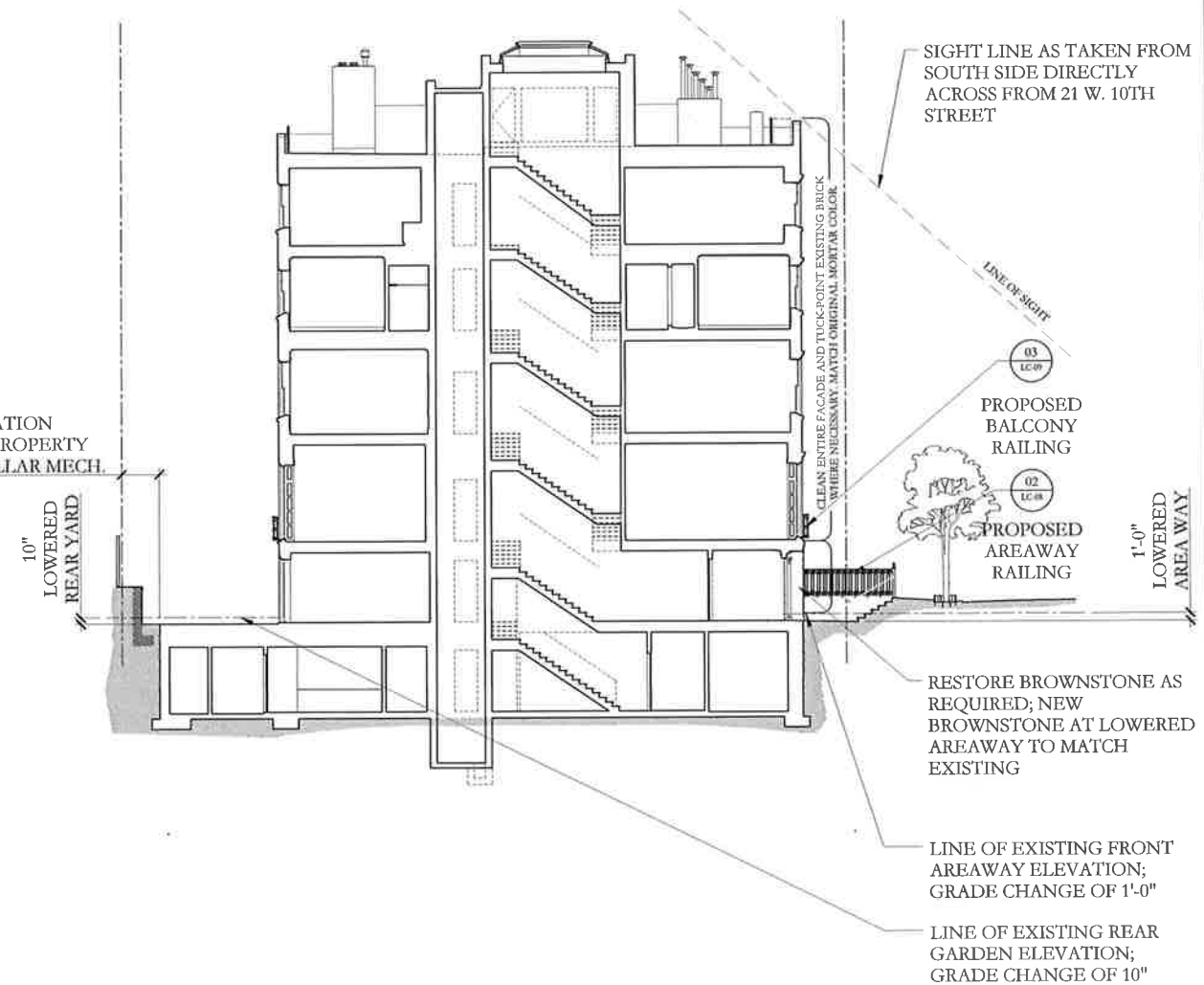
PROPOSED FRENCH DOOR

Scale and Signature:	Date: 11.09.16
	Scale: VARIES
	Drawn By: PPA
	Drawing No: LC-17
	Project No: 3660
	18 of 20



01 EXISTING SECTION LOOKING WEST  
LC-18

3/32" = 1'-0"



02 PROPOSED SECTION LOOKING WEST  
LC-18

3/32" = 1'-0"

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LPC FILING SET 11/09/2016  
ISSUE: DATE:

Project:  
21 WEST 10TH STREET  
NEW YORK, NY 10011

EXISTING AND PROPOSED  
BUILDING SECTIONS

Start and Signature:	Date:
	11.09.16
	Scale:
	3/16" = 1'-0"
	Drawn By:
	PPA
	Drawing No.
	LC-18
Project No.	19 of 20
3660	

**DEMOLITION NOTES:**

ENTIRE BUILDING WILL BE VACANT AND UNOCCUPIED DURING INTERIOR DEMOLITION OPERATIONS.  
DEMOLITION NOTES BELOW ARE APPLICABLE TO EACH FLOOR THROUGHOUT UNLESS MODIFIED BY PLANS. SEE SUPPLEMENTAL NOTES ON EACH FLOOR PLAN FOR ADDITIONAL ITEMS AND/OR EXEMPTIONS.

- 1 PROVIDE SHORING AND DEMOLITION PHASING FOR ALL DEMOLITION AS DETERMINED BY STRUCTURAL ENGINEER.
- 2 MAINTAIN STORM DRAIN SYSTEM OPERATION THROUGHOUT DEMOLITION AND FOR DURATION OF PROJECT.
- 3 COORDINATE WORK FOR NEW UTILITY SERVICES AS REQUIRED.
- 4 REMOVE ANY ASBESTOS UNCOVERED DURING DEMOLITION IN ACCORDANCE WITH ALL APPLICABLE LAWS.
- 5 PROVIDE 42" HIGH SAFETY GUARDRAILS THROUGHOUT CONSTRUCTION AS REQUIRED.
- 6 REMOVE FIXTURES, APPLIANCES, FITTINGS, CABINETS AND FINISHES THROUGHOUT.
- 7 PROVIDE 2 FIRE EXTINGUISHERS MINIMUM AT EACH FLOOR THROUGH DEMOLITION.
- 8 REMOVE ALL EXISTING PLUMBING FIXTURES AND CAP LINES.
- 9 COORDINATE REMOVAL OF SELECT BUILDING MATERIALS WITH SALVAGE CONTRACTOR.

**DEMOLITION KEY:**

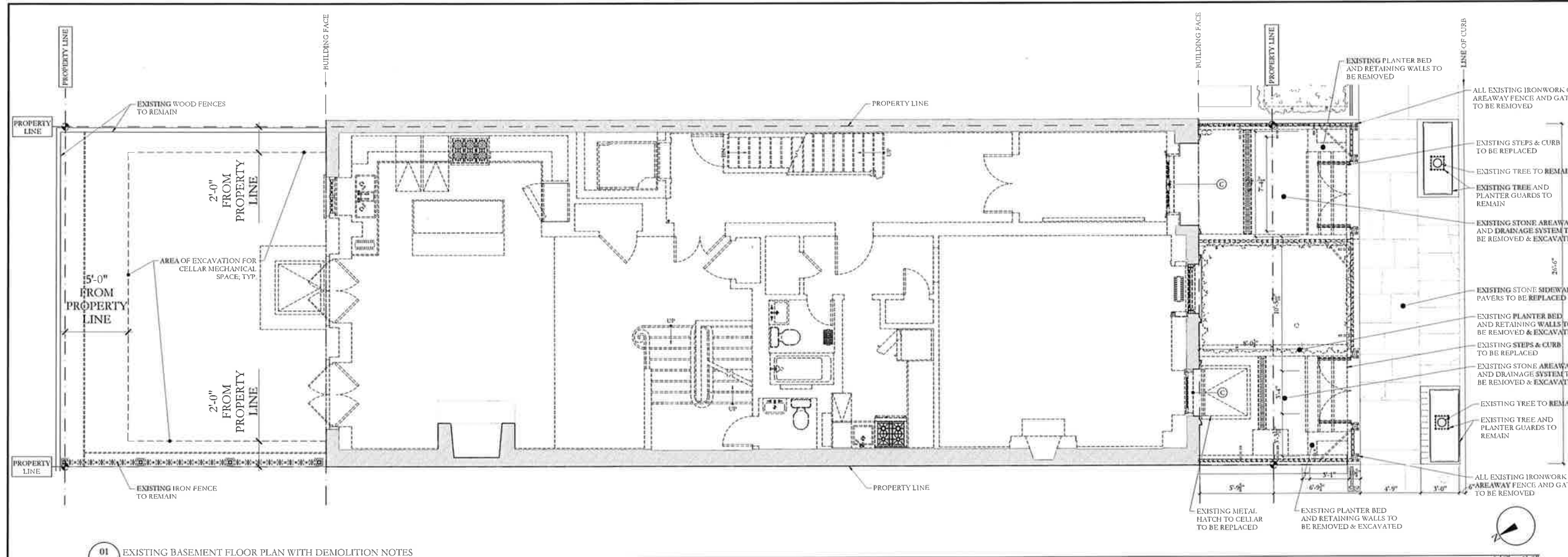
- EXISTING LOAD-BEARING PARTITIONS TO REMAIN. REMOVE ALL FINISHES.
- NON-LOAD-BEARING PARTITIONS AND/OR FURRING TO BE REMOVED.
- EXISTING FLOOR OR ROOF SUBFLOORING AND FRAMING TO BE REMOVED. PROVIDE SHORING AND PHASING OF DEMOLITION AS DETERMINED BY STRUCTURAL ENGINEER.
- EXISTING MASONRY TO REMAIN. REMOVE ALL INTERIOR FINISHES.
- EXISTING MASONRY TO BE REMOVED. PROVIDE SHORING AND PHASING OF DEMOLITION AS DETERMINED BY STRUCTURAL ENGINEER.

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LPC FILING SET: 11/09/2016  
ISSUE: DATE:

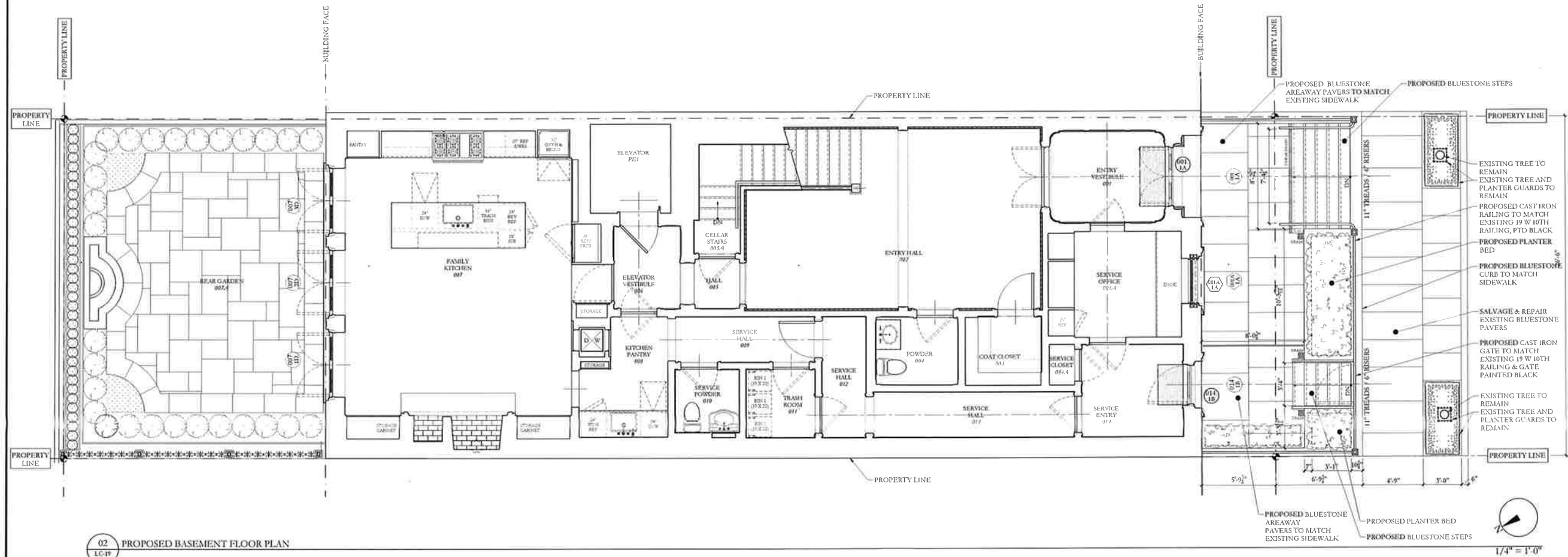
Project: **21 WEST 10TH STREET  
NEW YORK, NY 10011**

**EXISTING AND PROPOSED BASEMENT FLOOR PLANS**

Seal and Signature:	Date: 11.09.16
	Scale: 1/4" = 1'-0"
	Drawn By: PPA
	Drawing No: LC-19
	Project No: 3660
	20 of 20



01 EXISTING BASEMENT FLOOR PLAN WITH DEMOLITION NOTES  
LC-19



02 PROPOSED BASEMENT FLOOR PLAN  
LC-19