

BUILDING DEPARTMENT NOTES:

- BUILDING IS TO BE EXAMINED UNDER THE 1968 BUILDING CODE.
- BUILDING IS OF CLASS 3 NON-FIREPROOF CONSTRUCTION.
- THESE PLANS ARE APPROVED ONLY FOR THE WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR TO BE CONSIDERED EITHER APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.
- NO CHANGE IN USE, EGRESS, OR OCCUPANCY.
- ITEMS SUBJECT TO SPECIAL AND PROGRESS INSPECTIONS:

TR1: 1. MASONRY (BC 1704.5)
 2. STRUCTURAL STABILITY (BC 1704.20.1)
 3. FIRE-RESISTANCE RATED CONSTRUCTION (BC 110.3.4)
 4. FINAL INSPECTION (28-116.2.4.2, BC 110.5)

TENANT PROTECTION PLAN (2014 CODE):

- EGRESS - PROVISION SHALL BE MADE FOR ADEQUATE EGRESS AS REQUIRED BY THIS CODE AT ALL TIMES IN THE COURSE OF CONSTRUCTION AND THE TENANT PROTECTION PLAN SHALL IDENTIFY THE EGRESS THAT WILL BE PROVIDED. REQUIRED EGRESS SHALL NOT BE OBSTRUCTED AT ANY TIME EXCEPT WHERE APPROVED BY THE COMMISSIONER.
- FIRE SAFETY - ALL NECESSARY LAWS AND CONTROLS, INCLUDING THOSE WITH RESPECT TO OCCUPIED DWELLINGS, AS WELL AS ADDITIONAL SAFETY MEASURES NECESSITATED BY THE CONSTRUCTION SHALL BE OBSERVED.
- HEALTH REQUIREMENTS - SPECIFICATION OF METHODS TO BE USED FOR CONTROL OF DUST, DISPOSAL OF CONSTRUCTION DEBRIS, PEST CONTROL AND MAINTENANCE OF SANITARY FACILITIES, AND LIMITATION OF NOISE TO ACCEPTABLE LEVELS SHALL BE INCLUDED.
 3.1 THERE SHALL BE INCLUDED A STATEMENT OF COMPLIANCE WITH APPLICABLE PROVISIONS OF LAW RELATING TO LEAD AND ASBESTOS.
- COMPLIANCE WITH HOUSING STANDARDS - THE REQUIREMENTS OF THE NEW YORK CITY HOUSING MAINTENANCE CODE, AND, WHERE APPLICABLE, THE NEW YORK STATE MULTIPLE DWELLING LAW SHALL BE STRICTLY OBSERVED.
- STRUCTURAL SAFETY - NO STRUCTURAL WORK SHALL BE DONE THAT MAY ENDANGER THE OCCUPANTS.
- NOISE RESTRICTIONS - WHERE HOURS OF THE DAY OR THE DAYS OF THE WEEK IN WHICH CONSTRUCTION WORK MAY BE UNDERTAKEN ARE LIMITED PURSUANT TO THE NEW YORK CITY NOISE CONTROL CODE, SUCH LIMITATIONS SHALL BE STATED.
- MAINTENANCE ESSENTIAL SERVICES - HEAT, HOT WATER, COLD WATER, GAS, ELECTRICITY, OR OTHER SERVICES, SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW YORK CITY HOUSING MAINTENANCE CODE. SUCH SERVICES SHALL NOT BE DISRUPTED DURING THE CONSTRUCTION UNLESS SUFFICIENT ALTERNATIVES ARE PROVIDED.
- PUBLIC AVAILABILITY OF TENANT PROTECTION PLAN - UPON ISSUANCE OF A PERMIT, THE DEPARTMENT SHALL MAKE THE TENANT PROTECTION PLAN (TPP) PUBLICLY AVAILABLE ON ITS WEBSITE.
- COPY OF TENANT PROTECTION PLAN - THE OWNER TO PROVIDE A PAPER COPY OF THE APPROVED TPP UPON REQUEST BY AN OCCUPANT OF THE DWELLING UNIT.
- NOTICE TO OCCUPANTS: UPON ISSUANCE OF A WORK PERMIT, THE OWNER SHALL DISTRIBUTE A NOTICE REGARDING SUCH PLAN TO EACH OCCUPIED DWELLING UNIT OR POST A NOTICE REGARDING SUCH PLAN IN A CONSPICUOUS MANNER IN A BUILDING LOBBY ON EACH FLOOR IN A FORM APPROVED BY THE DEPARTMENT TO INCLUDE:
 A) A STATEMENT THAT OCCUPANTS MAY OBTAIN A COPY OF SUCH PLAN FROM OWNER AND MAY ACCESS SUCH PLAN ON THE DEPARTMENT WEBSITE.
 B) THE NAME AND CONTACT INFORMATION FOR THE SITE SAFETY COORDINATOR OR SUPERINTENDENT OF CONSTRUCTION OR IF NO SUCH PERSON, THE NAME AND CONTACT INFORMATION OF THE BUILDING OWNER OR SUCH OWNER'S DESIGNATED PERSON, AND
 C) A STATEMENT THAT THE BUILDING OCCUPANTS MAY CALL 311 TO MAKE A COMPLAINT.

GENERAL NOTES:

- ALL WORK TO COMPLY WITH THE NEW YORK CITY BUILDING CODE AND ALL OTHER APPLICABLE LAWS AND ORDINANCES, AS WELL AS BUILDING RULES AND REGULATIONS.
- NO PLANS SHALL BE SCALED, DIMENSIONS SHALL BE USED.
- ALL CONTRACTORS, WORKERS AND AGENTS WORKING AT OR VISITING THE SITE SHALL BE COVERED BY NECESSARY INSURANCE INCLUDING: LIABILITY, WORKMEN'S COMPENSATION, DISABILITY, ETC.
- ALL MATERIALS USED IN THIS WORK SHALL BE APPROVED FOR USE IN THE STATE AND LOCAL JURISDICTION WHERE PROJECT IS LOCATED.
- SUBSTITUTIONS SHALL NOT BE INSTALLED UNLESS WRITTEN APPROVAL FROM ARCHITECT IS RECEIVED FIRST.
- ALL CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE AND PREMISES SHALL BE BROOM CLEANED AT THE COMPLETION OF EACH WORK DAY.
- GENERAL CONTRACTOR SHALL PROVIDE ALL SAFETY PRECAUTIONS FOR SITE AS NECESSARY. THE CONTRACTOR SHALL MAINTAIN THE SECURITY AND WEATHER TIGHTNESS OF THE EXISTING BUILDING AT ALL TIMES THROUGHOUT THE DURATION OF THE WORK.
- ALL WORK SHALL BE PERFORMED IN A NEAT, CLEAN AND ORDERLY MANNER. WORK SHALL BE INSTALLED IN A PLUMB, LEVEL AND TRUE MANNER AND SHALL BE OF THE BEST WORKMANSHIP POSSIBLE. THE ALL NEW WORK TO EXISTING AS NECESSARY. PATCH ALL AFFECTED AREAS AND MATCH ADJACENT SURFACES AND MATERIALS AS CLOSELY AS POSSIBLE.
- ALL PLUMBING AND ELECTRICAL WORK TO BE PERFORMED BY LICENSED CONTRACTORS.
- THE WORK SHALL BE ADEQUATELY STAFFED TO ENSURE CONTINUITY AND PROGRESS WITH ALL AREAS OF WORK PROPERLY SEQUENCED AND COORDINATED.
- DEFECTIVE WORK WILL BE REMOVED AND REPLACED TOGETHER WITH RELATED AFFECTED AREAS AT NO ADDITIONAL COST TO OWNER.
- ALL MATERIALS AND LABOR PROVIDED BY CONTRACTOR SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM FINAL ACCEPTANCE.
- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING CODE AND ALL APPLICABLE STATE CODES, FEDERAL REGULATIONS, NFPA 101, THE NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL APPLICABLE LOCAL LAWS AND REGULATIONS, EXCEPT WHERE DRAWINGS CALL FOR MORE STRINGENT OR EXACTING STANDARD OF MATERIAL OR LABOR, SUCH SPECIFICATIONS SHALL GOVERN.
- ALL COMMON CHASES, ACTIVE AND DEFUNCT, WILL NOT BE REMOVED, ALTERED, MODIFIED, OBSTRUCTED OR INTERFERED WITH IN ANYWAY.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA REQUIREMENTS.
- COORDINATE ALL ASPECTS OF THE WORK WITH THE TENANT AND BUILDING MANAGEMENT, AND NOTIFY THEM OF NECESSARY UTILITY SHUT-DOWNS, INCONVENIENCES, ETC.
- EXISTING LINES MAY BE IN THE BUILDING OTHER THAN THOSE SHOWN ON THE DRAWINGS. CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY WITH DEMOLITION WORK. CONTRACTOR TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD COVERING OR AFFECTING THE WORK. CONTRACTOR SHALL LAY OUT THEIR WORK FROM THE DIMENSIONS SHOWN ON THE DRAWINGS AND SHALL BE RESPONSIBLE FOR ALL MEASUREMENTS IN CONNECTION THEREWITH TO INSURE PROPER STRENGTH, FIT, AND LOCATION, AND SHALL ADVISE THE ARCHITECT IN WRITING OF ANY AND ALL DISCREPANCIES OR CONFLICTS PRIOR TO COMMENCING THE ACTUAL WORK.
- ALL WORK SHALL BE CONSIDERED TO BE EXISTING EXCEPT WHERE INDICATED TO BE NEW WORK.
- FURNISH AND INSTALL ALL FIRE EXTINGUISHERS REQUIRED BY THE LOCAL FIRE DEPT. AND BUILDING CODES AND LOCATE WHERE SHOWN ON THE ARCHITECTURAL DRAWINGS OR AS DIRECTED BY THE ARCHITECT IN THE FIELD.
- PROVIDE FIRESTOPPING AT ALL STUD CAVITIES, WALL AND CEILING PENETRATIONS AS REQUIRED.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING FLOORING, FINISHES, ETC. TO REMAIN WITHIN APARTMENT FOR THE DURATION OF CONSTRUCTION.
- THE ARCHITECT WILL GET BUILDING DEPARTMENT APPROVAL. CONTRACTOR WILL BE RESPONSIBLE FOR SIGN-OFF OF PLUMBING WORK WITH THE DEPARTMENT OF BUILDINGS AND ELECTRICAL WORK WITH ECB (IF REQ'D) AT THE COMPLETION OF WORK.
- PROVIDE BLOCKING AS REQUIRED FOR ALL DEVICES, CABINETS, FIXTURES, ACCESSORIES, ETC.

Thru wall AC unit installation at front facade for 240 West 10th Street New York, NY 10014

prepared for GPG Management Corp.

NYCECC 2016 COMPLIANCE:

- PER LOCAL LAW 85, THIS APPLICATION IS EXEMPT FROM THE NYCECC DUE TO THE BUILDING'S LOCATION IN THE GREENWICH VILLAGE HISTORIC DISTRICT, WHICH IS LISTED ON THE NATIONAL REGISTER OF HISTORICAL PLACES. SEE CERTIFICATE BELOW FOR NYC LPC LISTING COMPLIANCE. NATIONAL REGISTER DATABASE REFERENCE #79001604

NYC Landmarks Preservation Commission

1 Cent re Street
9th Floor North
New York, NY 10007

Voice (212)-669-7700
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<http://nyc.gov/landmarks>

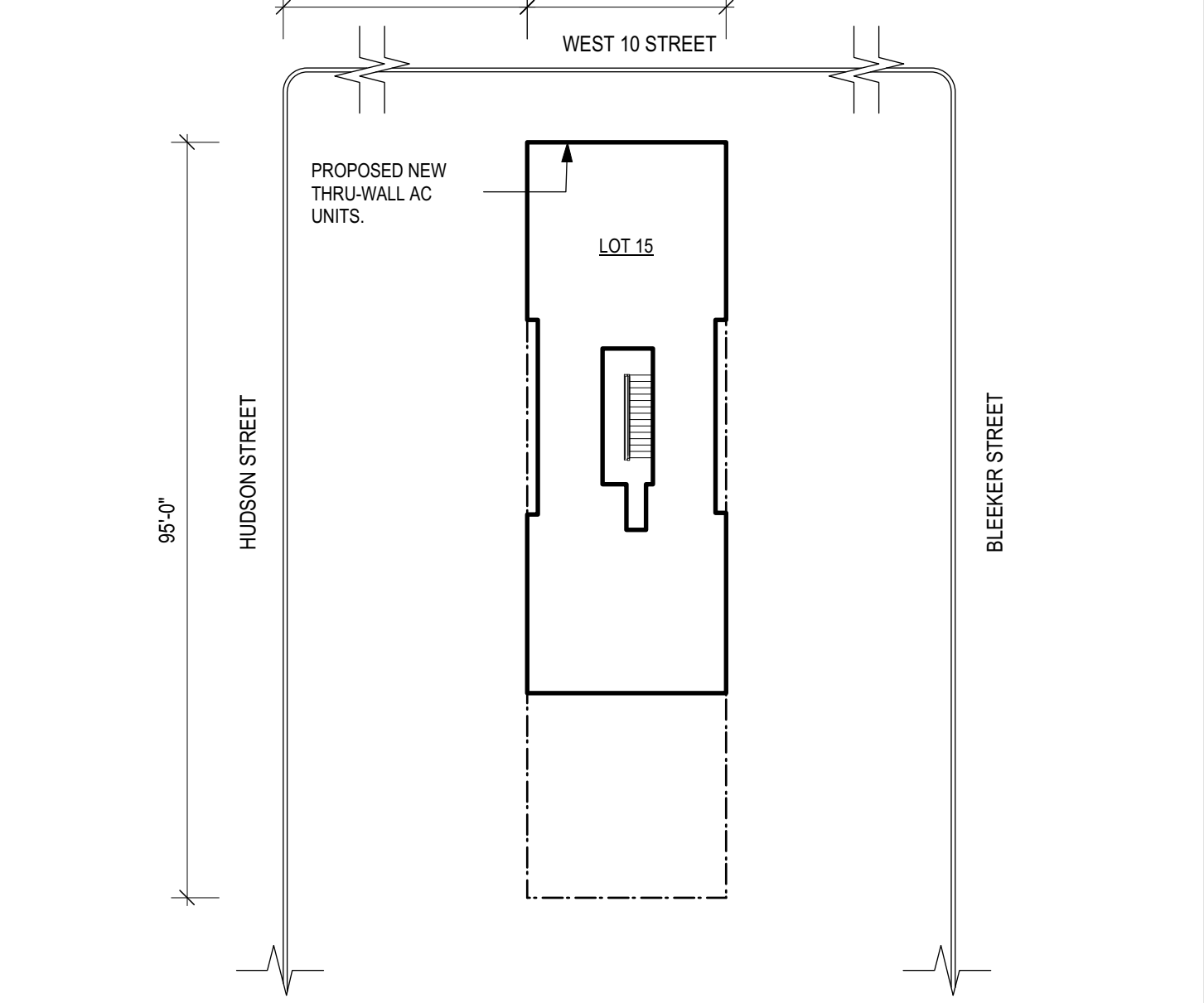
Project number: NYC ENERGY CONSERV (NYC ENERGY CONSERV CONST CODE)
 Project: 240 WEST 10 STREET
 Address: 240 WEST 10 STREET BBL: 1006190015
 Date Received: 8/22/2019

The Commission notes, for purposes of the New York City Energy Conservation Code, NYCECC CS01.6, the property has been determined to be a contributing building in the GREENWICH VILLAGE Historic District, which is listed, on the State and/or National Registers(s) of Historic Places.

Gina Santucci 8/22/2019

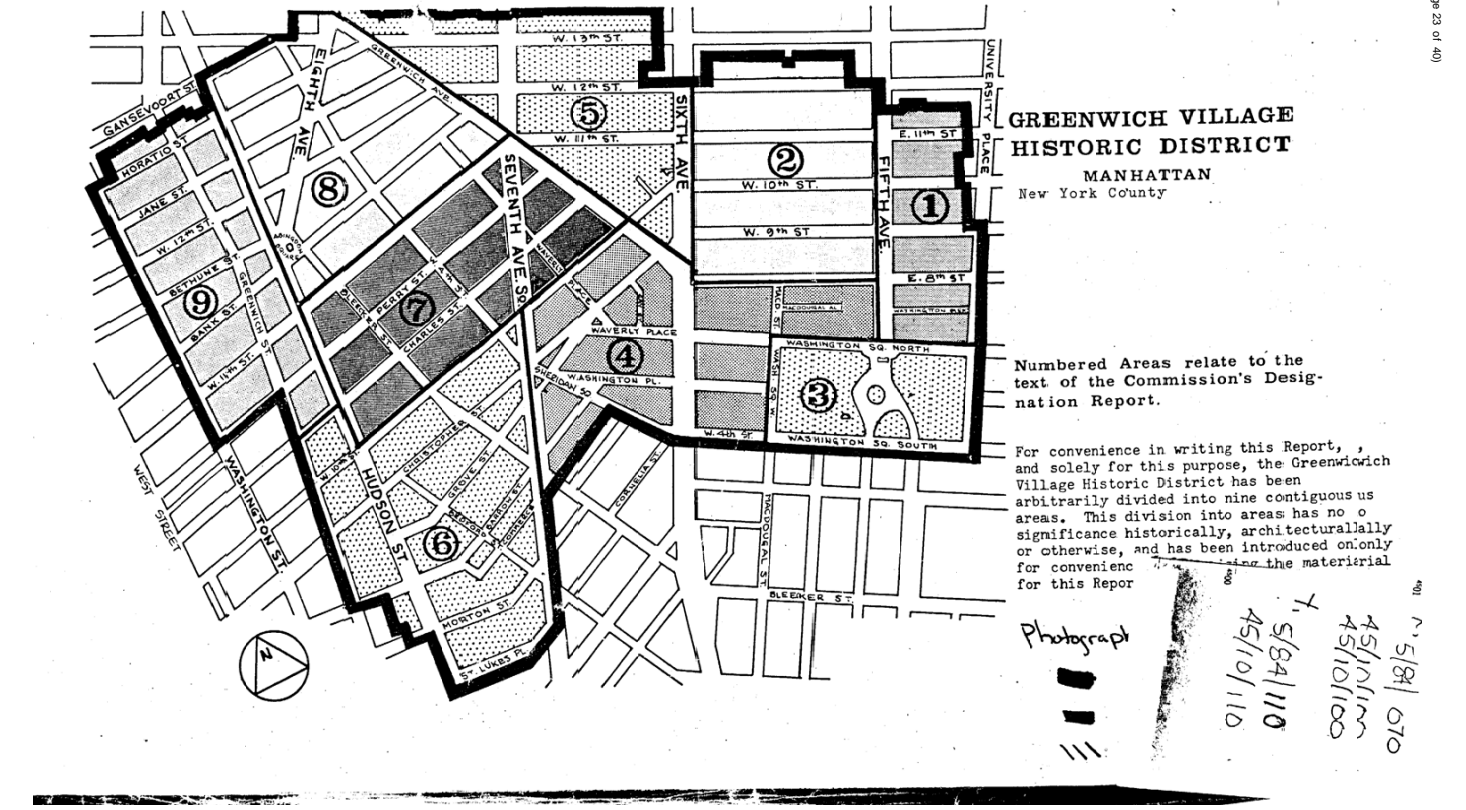
SIGNATURE Gina Santucci, Environmental Review Coordinator DATE
 File Name: 34461_FSO_GS_08222019.docx

PLOT PLAN:
SCALE: 1" = 20'-0"



240 WEST 10 STREET, FRONT FACADE ALTERATION

BLOCK NO: 619
 LOT NO: 15
 ZONE: R6
 BUILDING HEIGHT: 56'
 NO OF STORIES: 6
 MAP NO: 12A
 CONST: CLASS 3 NON FIREPROOF
 OCCUPANCY CLASSIFICATION: RES - RESID. BLDG - OLD CODE



DRAWING LIST:

DRAWING NO.	DRAWING TITLE	ISSUED
A-001.00	Site Plan, General Notes, Legends, NYCECC Exemption Certificate	05 MAR 2020
A-201.00	Historical Photographs - Front Facade	05 MAR 2020
A-202.00	Current Existing Photographs - Front Facade	05 MAR 2020
A-301.00	Exterior Elevations - Existing and Proposed North Facade (Front)	05 MAR 2020
A-400.00	Typical Exterior Window Elevation and Detail with Thru wall AC Grill	05 MAR 2020

FEMA FLOOD HAZARD NOTES:

- THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA.

SCOPE OF WORK:

NEW THRU-WALL AC UNITS ON PRIMARY FACADE. NO CHANGE IN USE, EGRESS OR OCCUPANCY.

LEGENDS:

GENERAL SYMBOLS LEGEND:

ELEVATION TAG: DRAWING NO. SHEET NO.

SECTION TAG: DRAWING NO. SHEET NO.

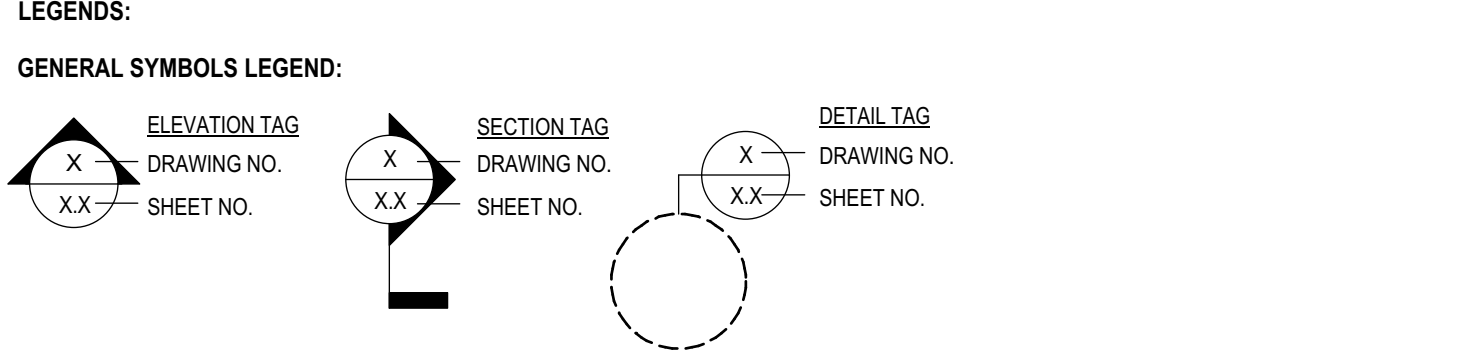
DETAIL TAG: DRAWING NO. SHEET NO.

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NEW THRU-WALL AC UNITS ON PRIMARY FACADE. NO CHANGE IN USE, EGRESS OR OCCUPANCY.



REVISIONS:

ISSUED FOR LPC FILING
05 MAR 2020

CONSULTANTS:

MGA

MARK GOULD ARCHITECT

174 FIFTH AVENUE #503 NY, NY 10011
 T 212.460.8800 F 212.460.8900
 WWW.MARKGOULDARCHITECT.COM

PROJECT:

Thru Wall AC Unit installation at front facade for
240 West 10th Street
New York, NY 10014

DRAWING TITLE:

Site Plan, General Notes, Legends, NYCECC Exemption Certificate

PROJECT FILE NAME:

1823

NYC DOB NO:

SEAL:

DATE: 05 MAR 2020
 PROJECT NO: 1823
 DRAWN BY: RM
 CHECKED BY: MG
 DRAWING NO:
A-001.00

REVISIONS:
ISSUED FOR LPC FILING
05 MAR 2020

CONSULTANTS:



AREA INDICATES 240 WEST 10TH STREET FACADE



AREA INDICATED PARTIAL FACADE OF 240 WEST 10TH STREET

1 HISTORICAL PHOTO #1 FRONT FACADE
NOT TO SCALE

2 HISTORICAL PHOTO #2 PARTIAL FRONT FACADE
NOT TO SCALE

MGA
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174 FIFTH AVENUE #503 NY, NY 10011
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PROJECT:
Thru Wall AC Unit installation at
front facade for
240 West 10th Street
New York, NY 10014

DRAWING TITLE:
Historical Photographs -
Front Facade

PROJECT FILE NAME:
1823

NYC DOB NO:

SEAL: DATE: 05 MAR 2020
PROJECT NO: 1823
DRAWN BY: RM
CHECKED BY: MG
DRAWING NO:
A-201.00
Sheet 2 of 5



1 EXISTING 2019 PHOTO: FRONT FACADE
NOT TO SCALE



2 EXISTING 2019 PHOTO: STRAIGHT HEADER WINDOW
NOT TO SCALE



3 EXISTING 2019 PHOTO: ARCHED HEADER WINDOW
NOT TO SCALE

REVISIONS:
ISSUED FOR LPC FILING
05 MAR 2020

CONSULTANTS:

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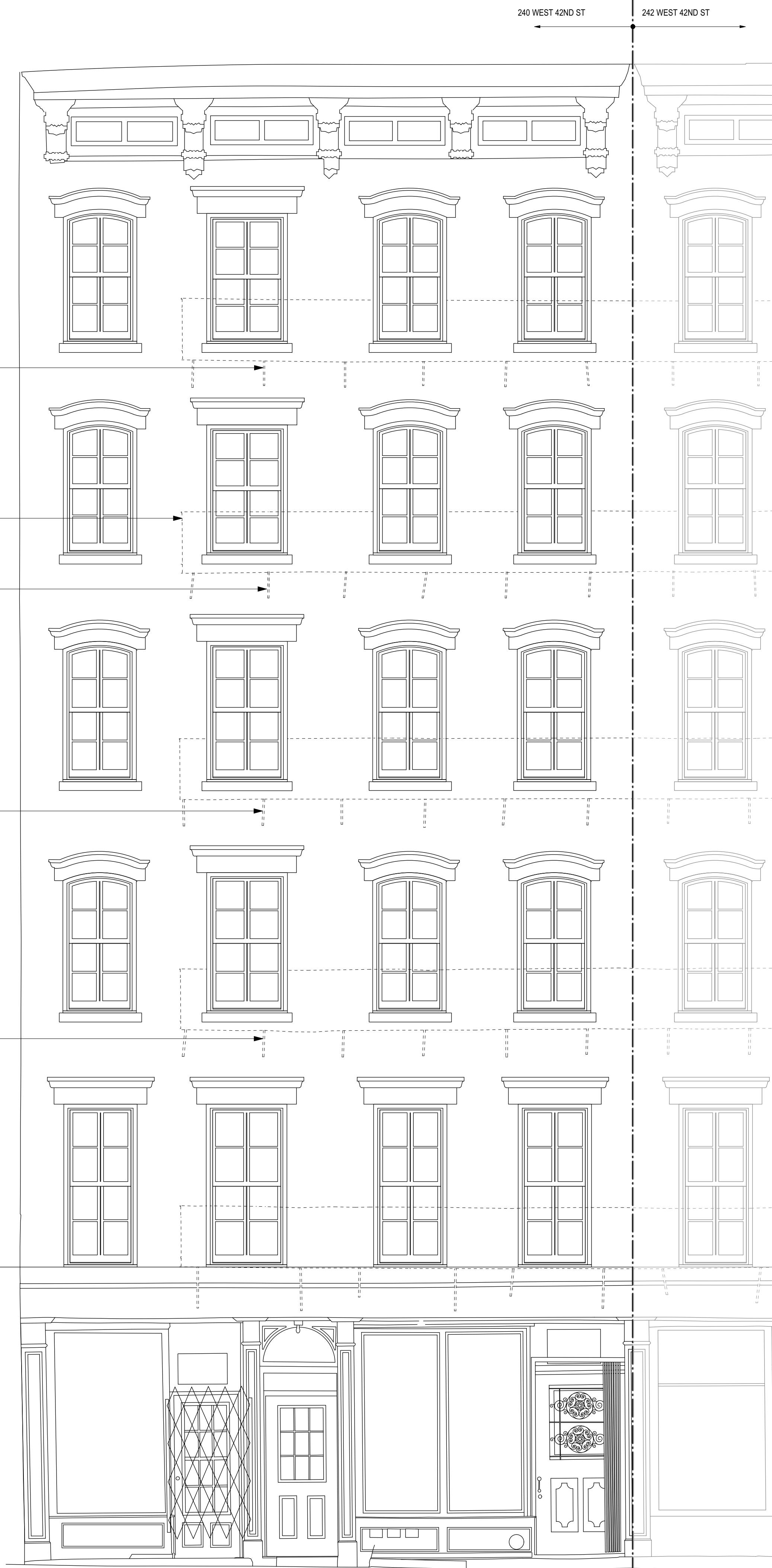
PROJECT:
Thru Wall AC Unit installation at
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240 West 10th Street
New York, NY 10014

DRAWING TITLE:
Current Existing Photographs -
Front Facade

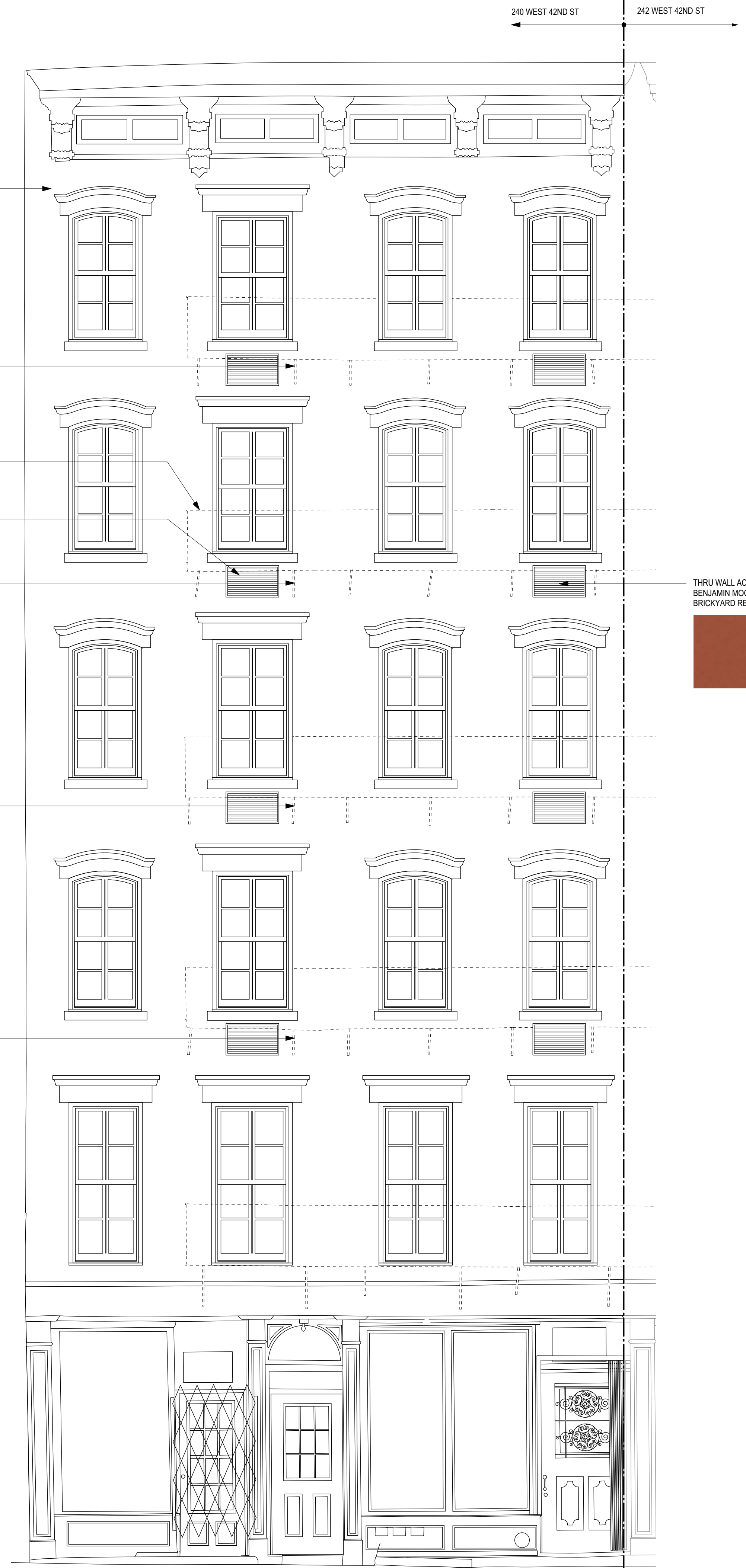
PROJECT FILE NAME:
1823

NYC DOB NO:

SEAL:	DATE: 05 MAR 2020
	PROJECT NO: 1823
	DRAWN BY: RM
	CHECKED BY: MG
	DRAWING NO:
	A-202.00
	Sheet 3 of 5



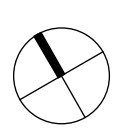
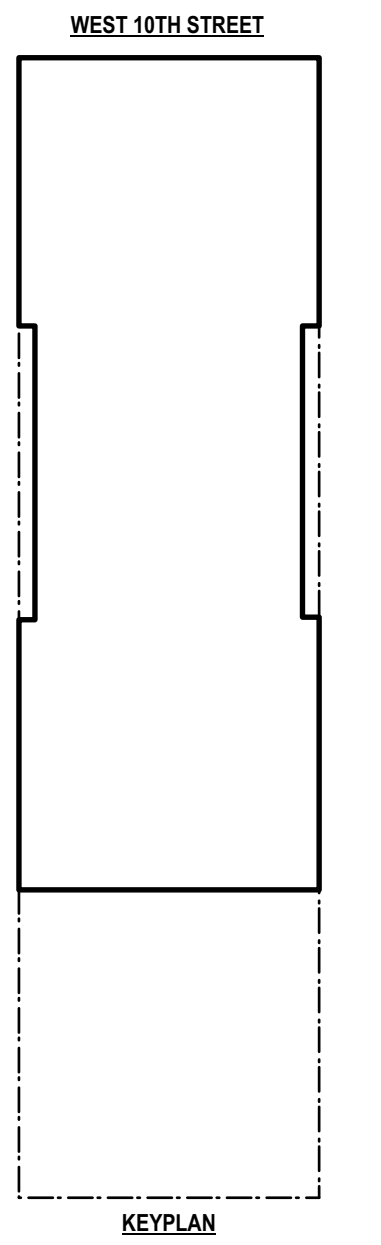
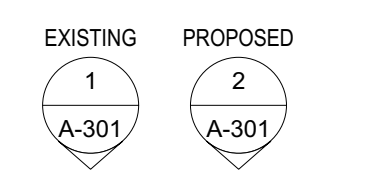
1 EXISTING ELEVATION: NORTH FACADE (FRONT)
SCALE: 1:35



2 PROPOSED ELEVATION: NORTH FACADE (FRONT)
SCALE: 1:35

REVISIONS:
ISSUED FOR LPC FILING
05 MAR 2020

CONSULTANTS:



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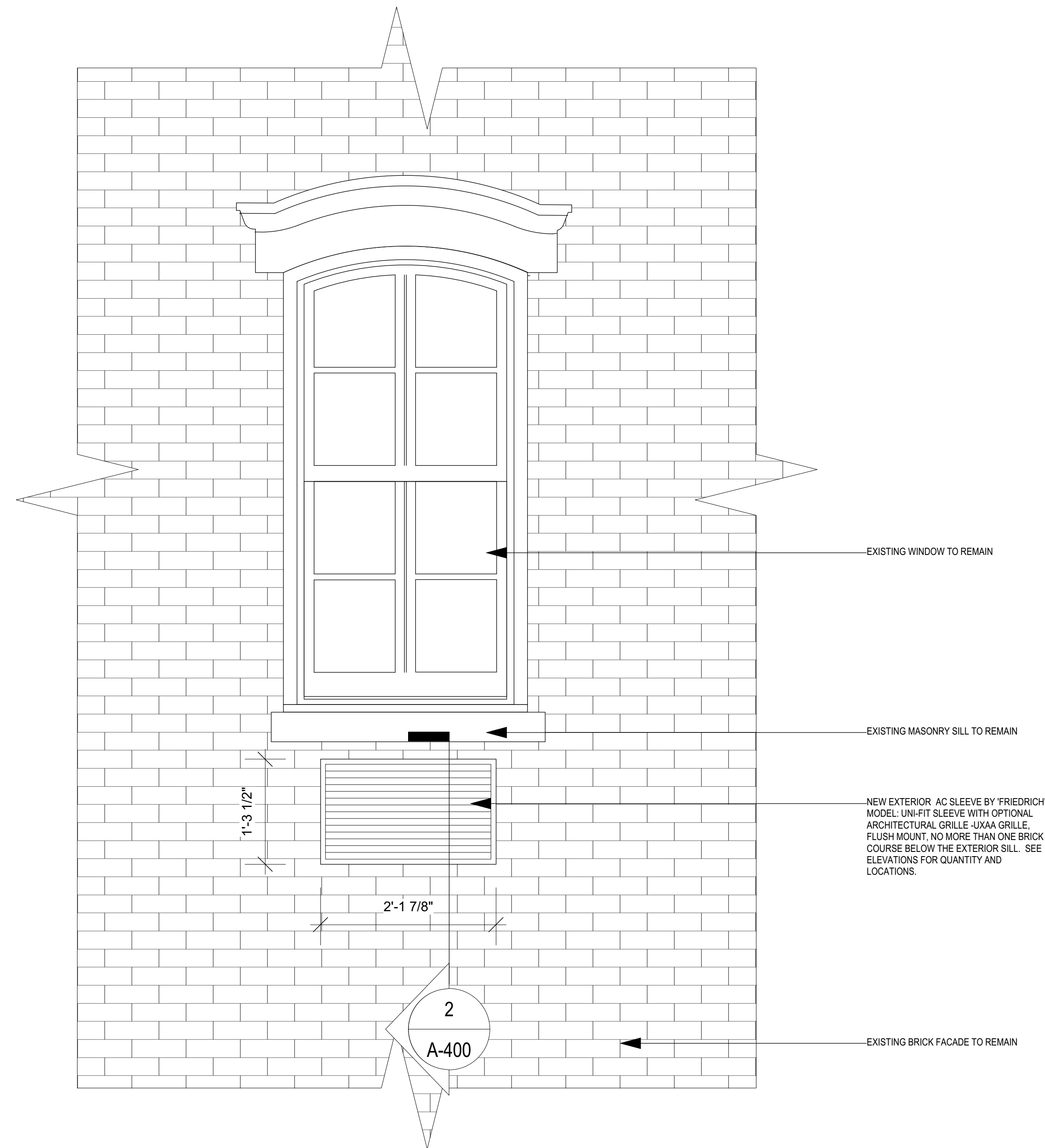
PROJECT:
Thru Wall AC Unit installation at
front facade for
240 West 10th Street
New York, NY 10014

DRAWING TITLE:
Exterior Elevations - Existing and Proposed
North Facade (Front)

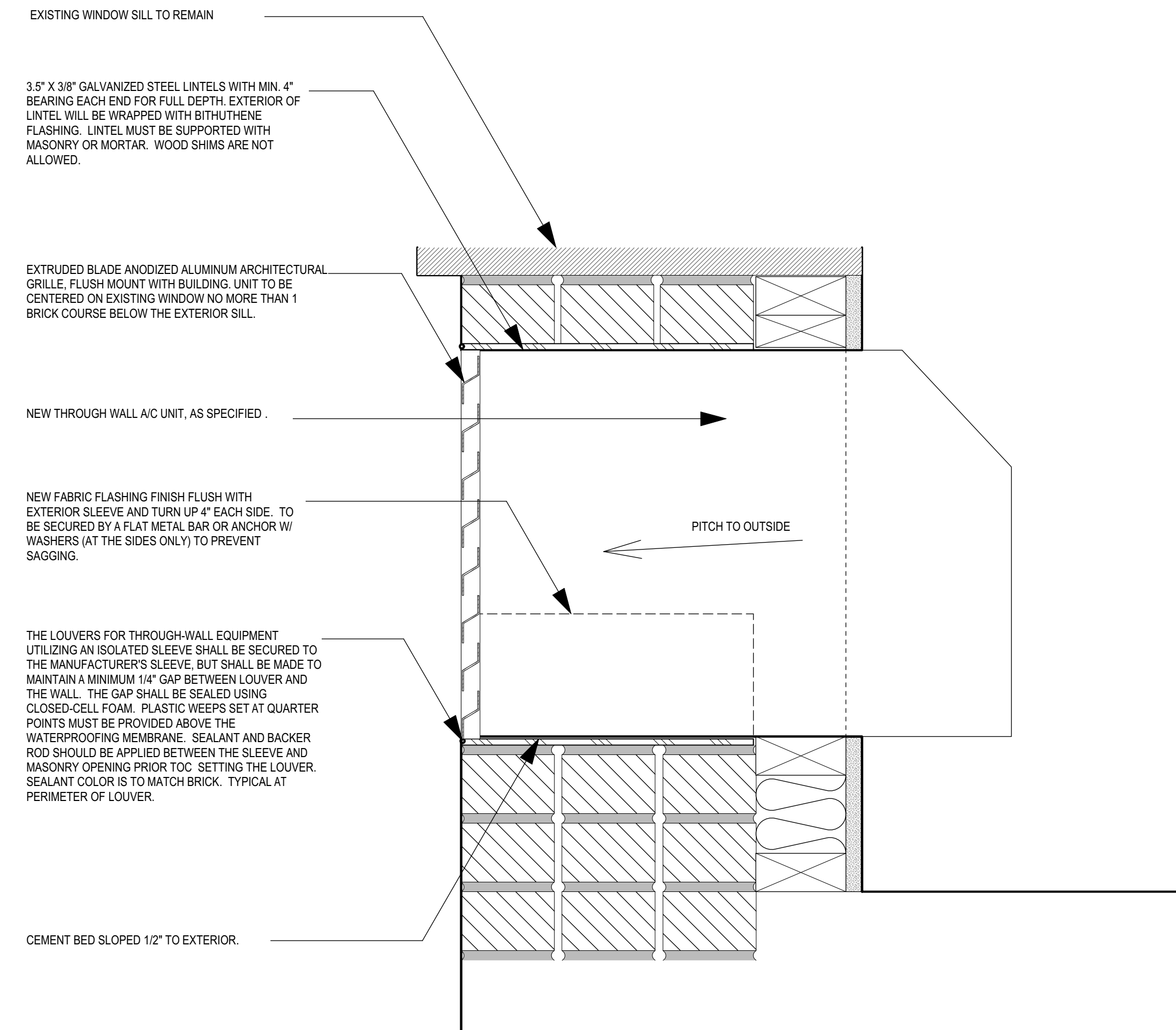
PROJECT FILE NAME:
1823

NYC DOB NO:

SEAL: DATE: 05 MAR 2020
PROJECT NO: 1823
DRAWN BY: RM
CHECKED BY: MG
DRAWING NO:
A-301.00
Sheet 4 of 5



1 TYPICAL WINDOW ELEVATION WITH THRU WALL AC UNIT
 SCALE: 1" = 1'-0"



2 TYPICAL THRU WALL AC DETAIL
 SCALE: 3" = 1'-0"

PROJECT:
 Thru Wall AC Unit installation at
 front facade for
 240 West 10th Street
 New York, NY 10014

DRAWING TITLE:
 Typical Exterior Window
 Elevation and Detail with
 Thru-wall AC Grill

PROJECT FILE NAME:
 1823

NYC DOB NO:

SEAL: DATE: 05 MAR 2020
 PROJECT NO: 1823
 DRAWN BY: RM
 CHECKED BY: MG
 DRAWING NO:
A-400.00
 Sheet 5 of 5

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- THIS BUILDING CONTAINS 22 DWELLING UNITS, 19 OF WHICH WILL REMAIN OCCUPIED DURING CONSTRUCTION.
- PUBLIC AVAILABILITY OF TENANT PROTECTION PLAN - UPON ISSUANCE OF A PERMIT, THE DEPARTMENT SHALL MAKE THE TENANT PROTECTION PLAN (TPP) PUBLICLY AVAILABLE ON ITS WEBSITE.
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NYC Landmarks Preservation Commission

1 Centre Street
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 Fax (212)-669-7960
<http://nyc.gov/landmarks>

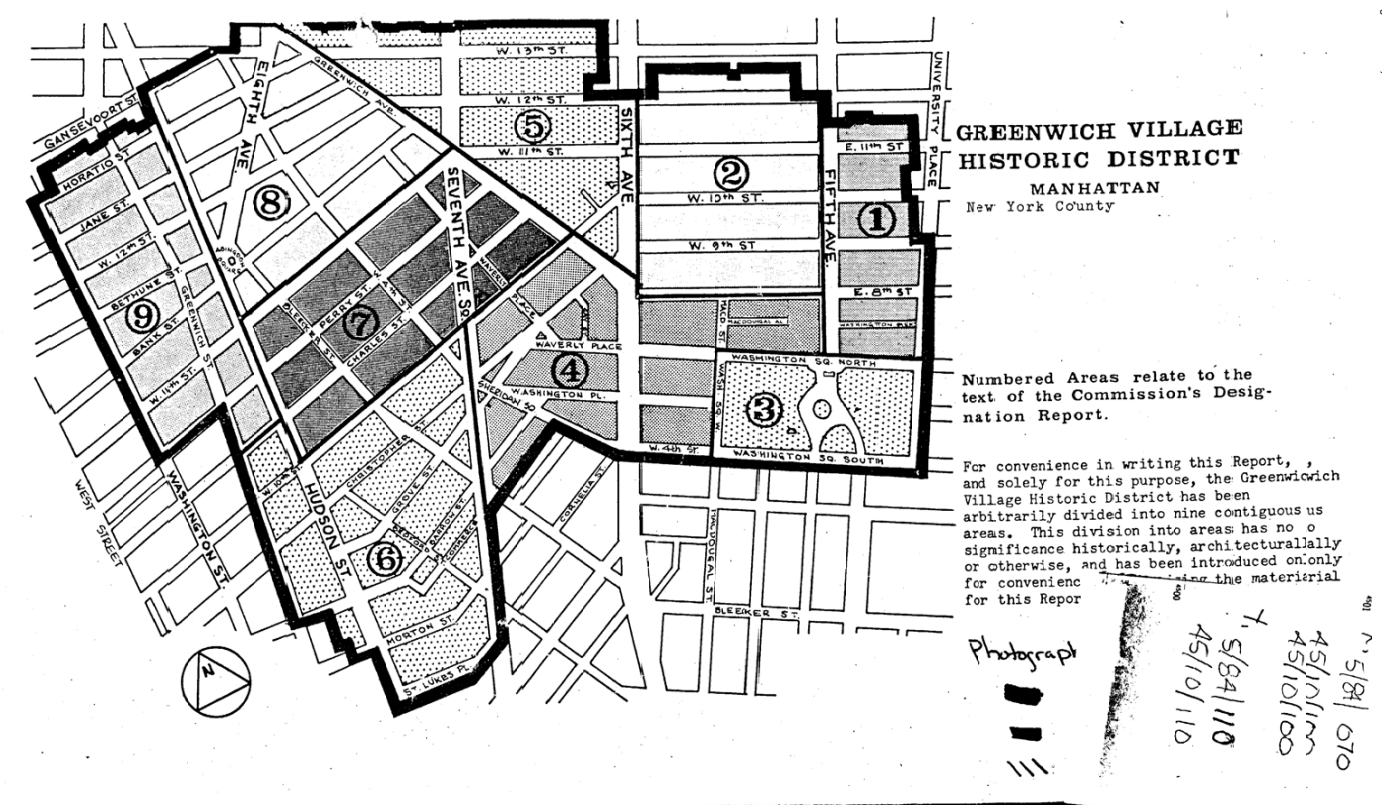
Project number: NYC ENERGY CONSERV (NYC ENERGY CONSERV CONST CODE)
 Project:
 Address: 242 WEST 10 STREET BBL: 1006190014
 Date Received: 8/22/2019

The Commission notes, for purposes of the New York City Energy Conservation Code, NYCECC C501.6, the property has been determined to be a contributing building in the GREENWICH VILLAGE Historic District, which is listed, on the State and/or National Registers(s) of Historic Places.

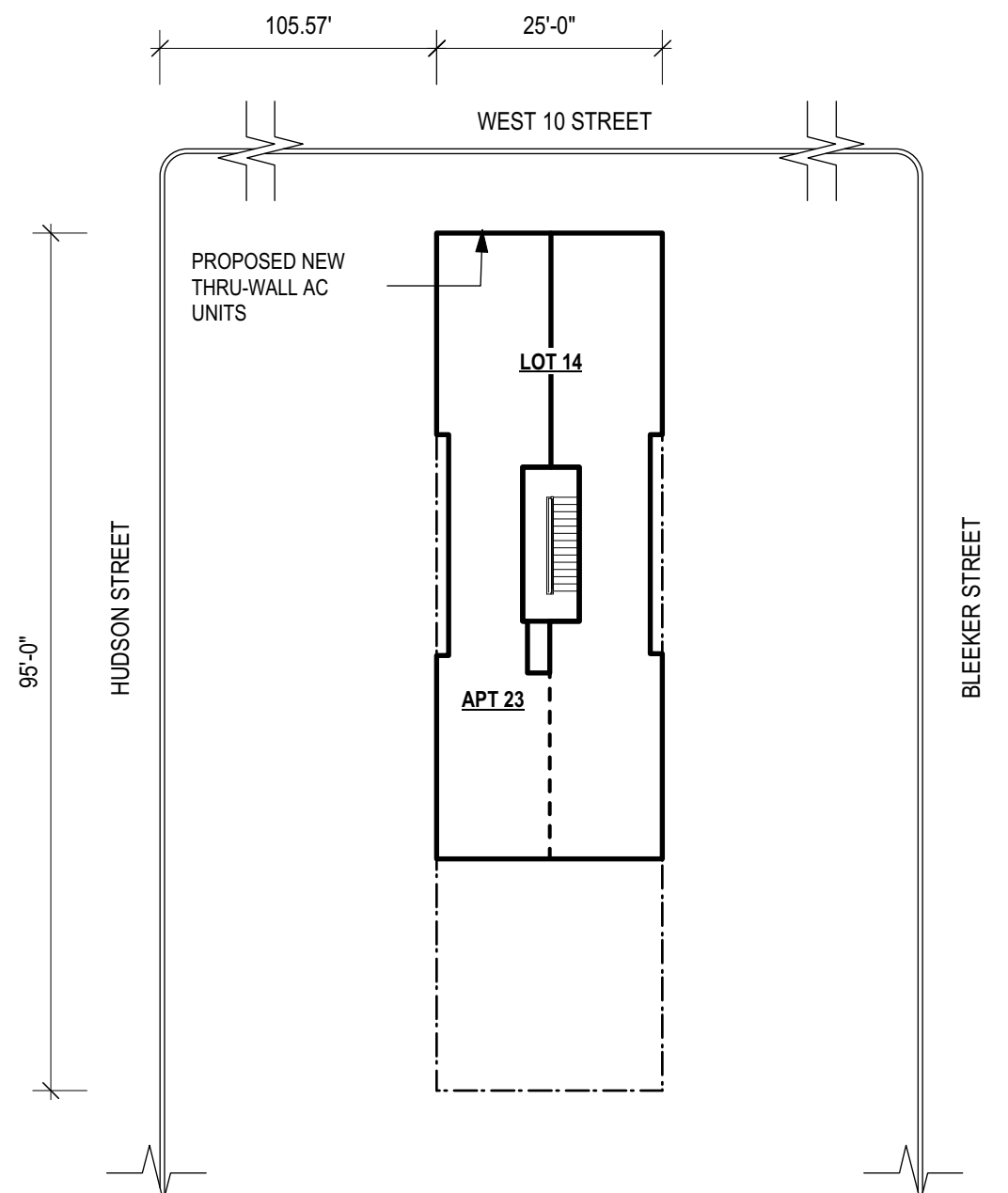
Gina Santucci 8/22/2019

SIGNATURE Gina Santucci, Environmental Review Coordinator DATE

File Name: 34460_FSO_GS_08222019.docx



PLOT PLAN:
 SCALE: 1" = 20'-0"



242 WEST 10TH STREET FRONT FACADE ALTERATION

BLOCK NO: 619
 LOT NO: 14
 ZONE: R6
 BUILDING HEIGHT: 56'
 NO OF STORIES: 6
 MAP NO: 12A
 CONST. CLASS 3 NON FIREPROOF
 OCCUPANCY CLASSIFICATION: RES - RESID. BLDG - OLD CODE

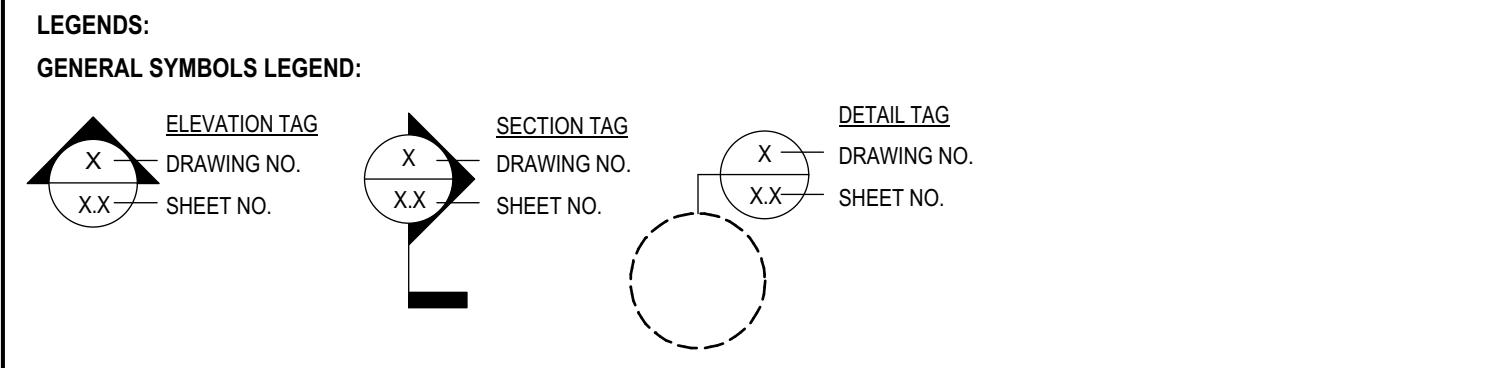
DRAWING LIST:		
DRAWING NO.	DRAWING TITLE	ISSUED
A-001.00	Site Plan, General Notes, Legends, NYCECC Exemption Certificate	05 MAR 2020
A-201.00	Historical Photographs - Front Facade	05 MAR 2020
A-202.00	Current Existing Photographs - Front Facade	05 MAR 2020
A-301.00	Exterior Elevations - Existing and Proposed North Facade (Front)	05 MAR 2020
A-400.00	Typical Exterior Window Elevation and Detail with Thru wall AC Grill	05 MAR 2020

FEMA FLOOD HAZARD NOTES:

- THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA.

SCOPE OF WORK:

NEW THRU-WALL AC UNITS ON PRIMARY FACADE. NO CHANGE IN USE, EGRESS OR OCCUPANCY.



REVISIONS:

ISSUED FOR LPC FILING
 05 MAR 2020

CONSULTANTS:

MGA
 MARK GOULD ARCHITECT

174 FIFTH AVENUE #503 NY, NY 10011
 T 212.460.8800 F 212.460.8900
 WWW.MARKGOULDARCHITECT.COM

PROJECT:

Thru Wall AC Unit installation at front facade for
 242 West 10th Street
 New York, NY 10014

DRAWING TITLE:

Site Plan, General Notes, Legends, NYCECC Exemption Certificate

PROJECT FILE NAME:

1823

NYC DOB NO:

SEAL:

DATE: 05 MAR 2020
 PROJECT NO: 1823
 DRAWN BY: RM
 CHECKED BY: MG
 DRAWING NO:
A-001.00
 Sheet 1 of 5

REVISIONS:
ISSUED FOR LPC FILING
05 MAR 2020

CONSULTANTS:



AREA INDICATES 242 WEST 10TH STREET FACADE

AREA INDICATES 242 WEST 10TH STREET FACADE

1 HISTORICAL PHOTO #1: FRONT FACADE
NOT TO SCALE



2 HISTORICAL PHOTO #2: FRONT FACADE
NOT TO SCALE

MGA
MARK GOULD ARCHITECT

174 FIFTH AVENUE #503 NY, NY 10011
T 212.460.8800 F 212.460.8900
WWW.MARKGOULDARCHITECT.COM

PROJECT:
Thru Wall AC Unit installation at
front facade for
242 West 10th Street
New York, NY 10014

DRAWING TITLE:
Historical Photographs -
Front Facade

PROJECT FILE NAME:
1823

NYC DOB NO:

SEAL: DATE: 05 MAR 2020
PROJECT NO: 1823
DRAWN BY: RM
CHECKED BY: MG
DRAWING NO:
A-201.00



1 EXISTING 2019 PHOTO: FRONT FACADE
NOT TO SCALE



2 EXISTING 2019 PHOTO: STRAIGHT HEADER WINDOW
NOT TO SCALE



3 EXISTING 2019 PHOTO: ARCHED HEADER WINDOW
NOT TO SCALE

REVISIONS:
ISSUED FOR LPC FILING
05 MAR 2020

CONSULTANTS:

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174 FIFTH AVENUE #503 NY, NY 10011
T 212.460.8800 F 212.460.8900
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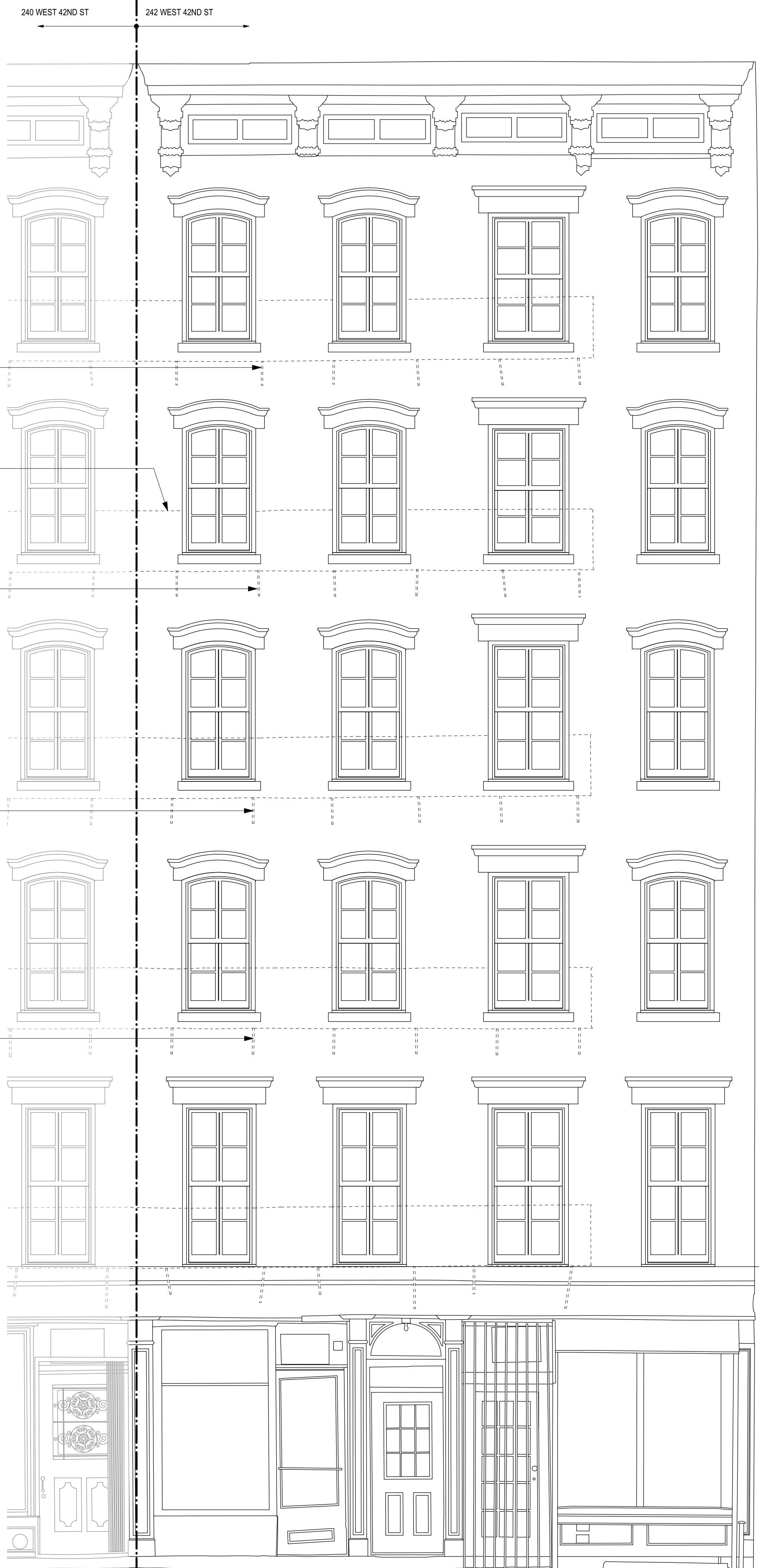
PROJECT:
Thru Wall AC Unit installation at
front facade for
242 West 10th Street
New York, NY 10014

DRAWING TITLE:
Current Existing Photographs -
Front Facade

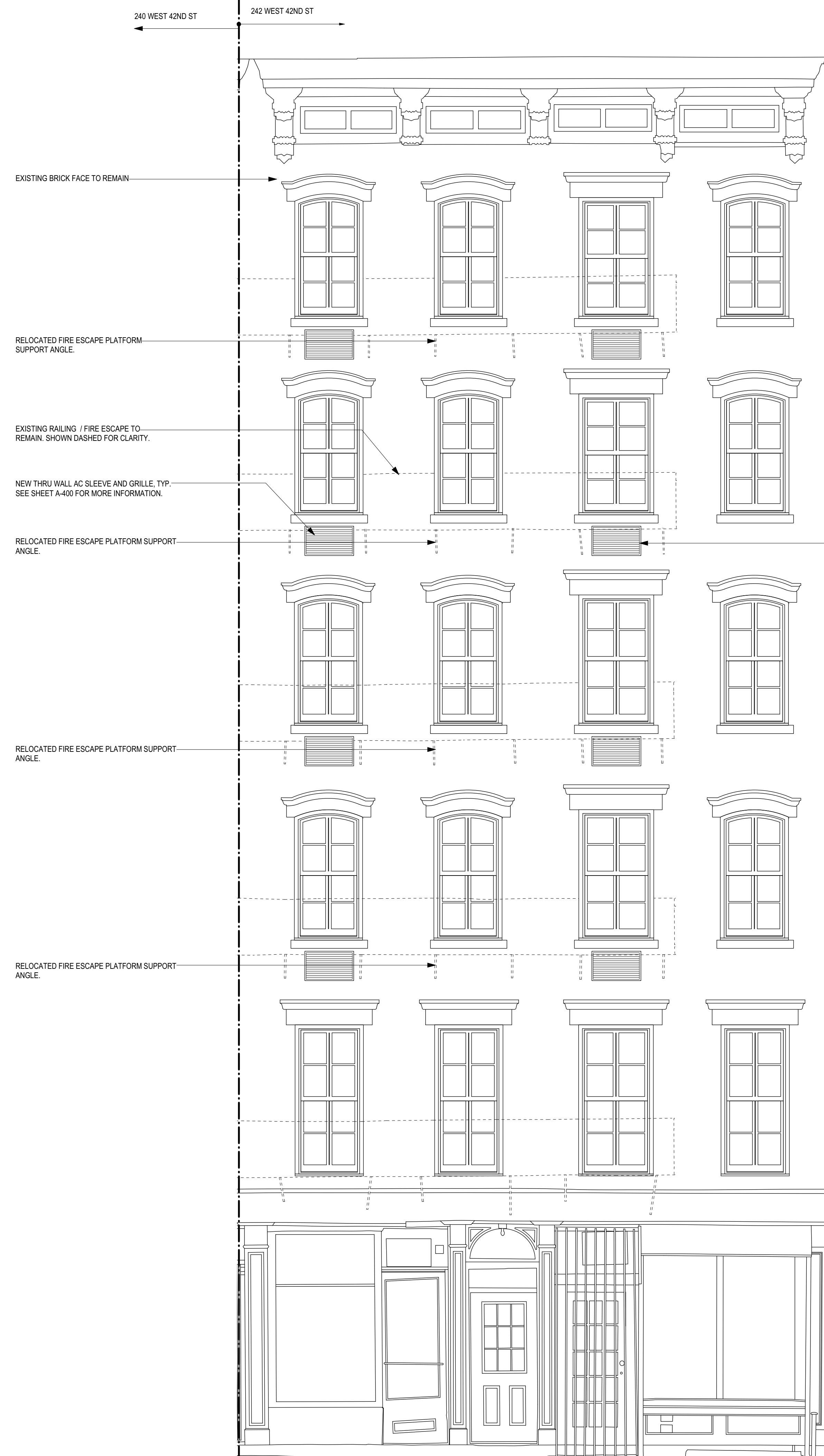
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NYC DOB NO:

SEAL:	DATE: 05 MAR 2020
	PROJECT NO: 1823
	DRAWN BY: RM
	CHECKED BY: MG
	DRAWING NO: A-202.00
	Sheet 2 of 5



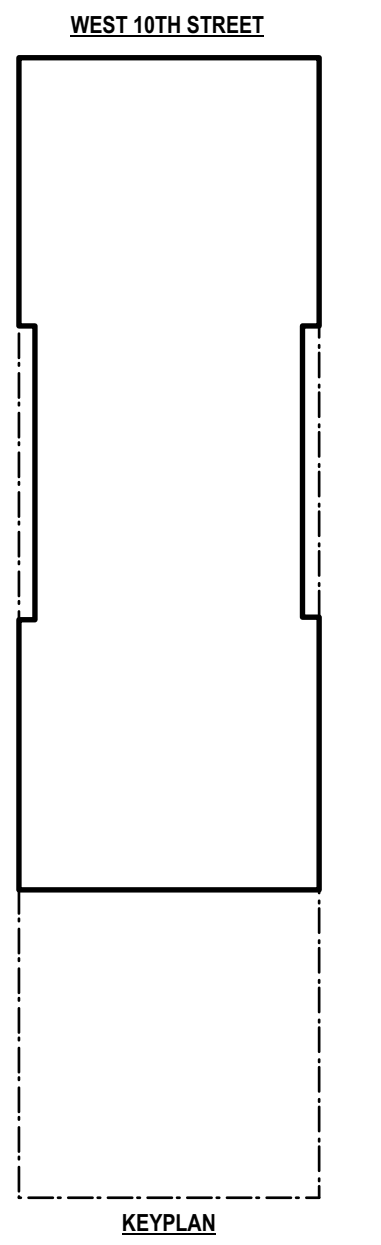
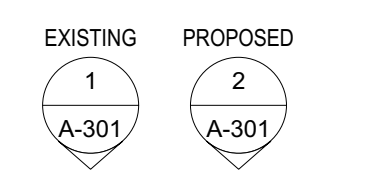
1 EXISTING ELEVATION: NORTH FACADE (FRONT)
SCALE: 1:35



2 PROPOSED ELEVATION: NORTH FACADE (FRONT)
SCALE: 1:35

REVISIONS:
ISSUED FOR LPC FILING
05 MAR 2020

CONSULTANTS:



MGA
MARK GOULD ARCHITECT
174 FIFTH AVENUE #503 NY, NY 10011
T 212.460.8800 F 212.460.8900
WWW.MARKGOULDARCHITECT.COM

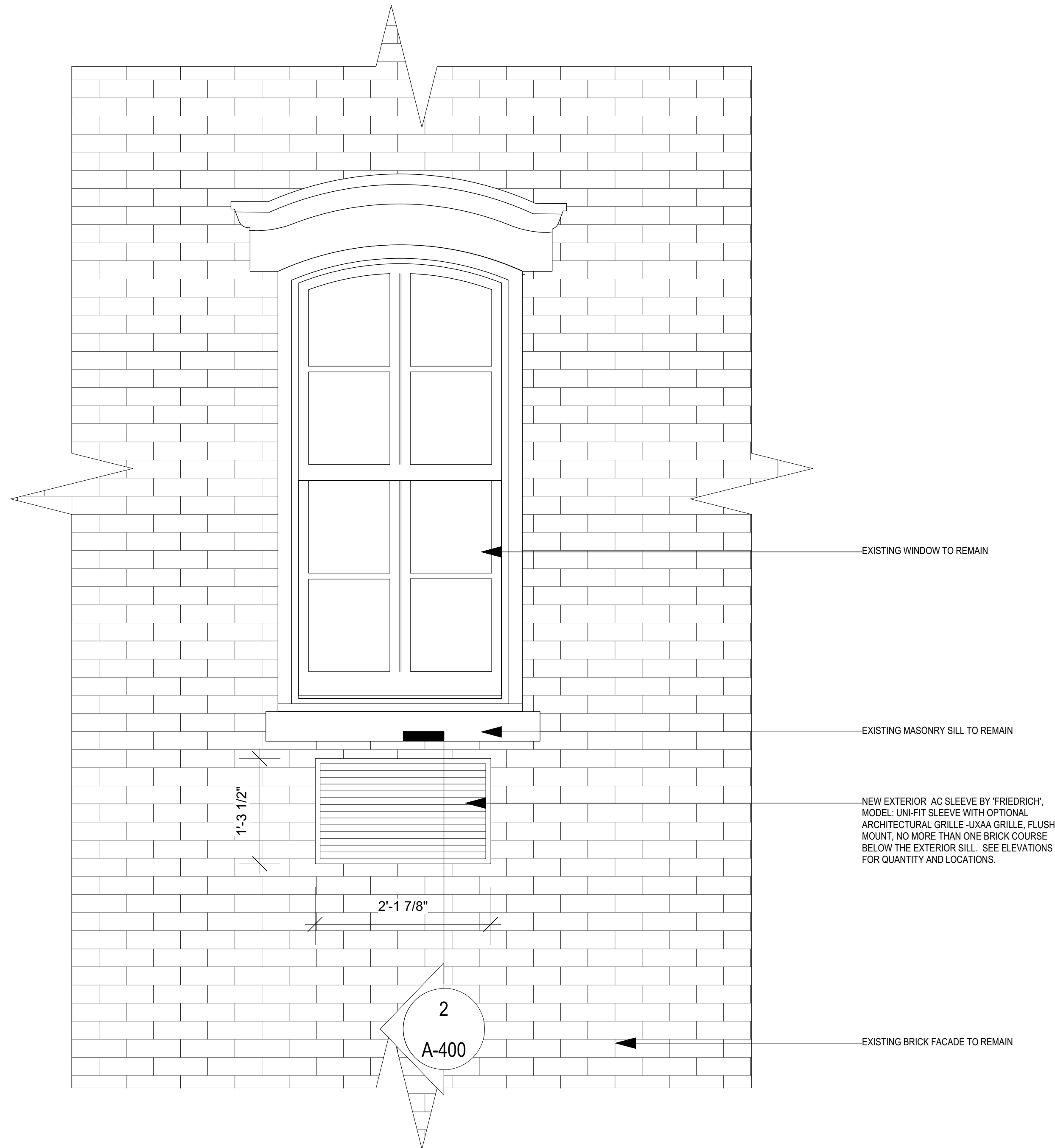
PROJECT:
Thru Wall AC Unit installation at
front facade for
242 West 10th Street
New York, NY 10014

DRAWING TITLE:
Exterior Elevations - Existing and Proposed
North Facade (Front)

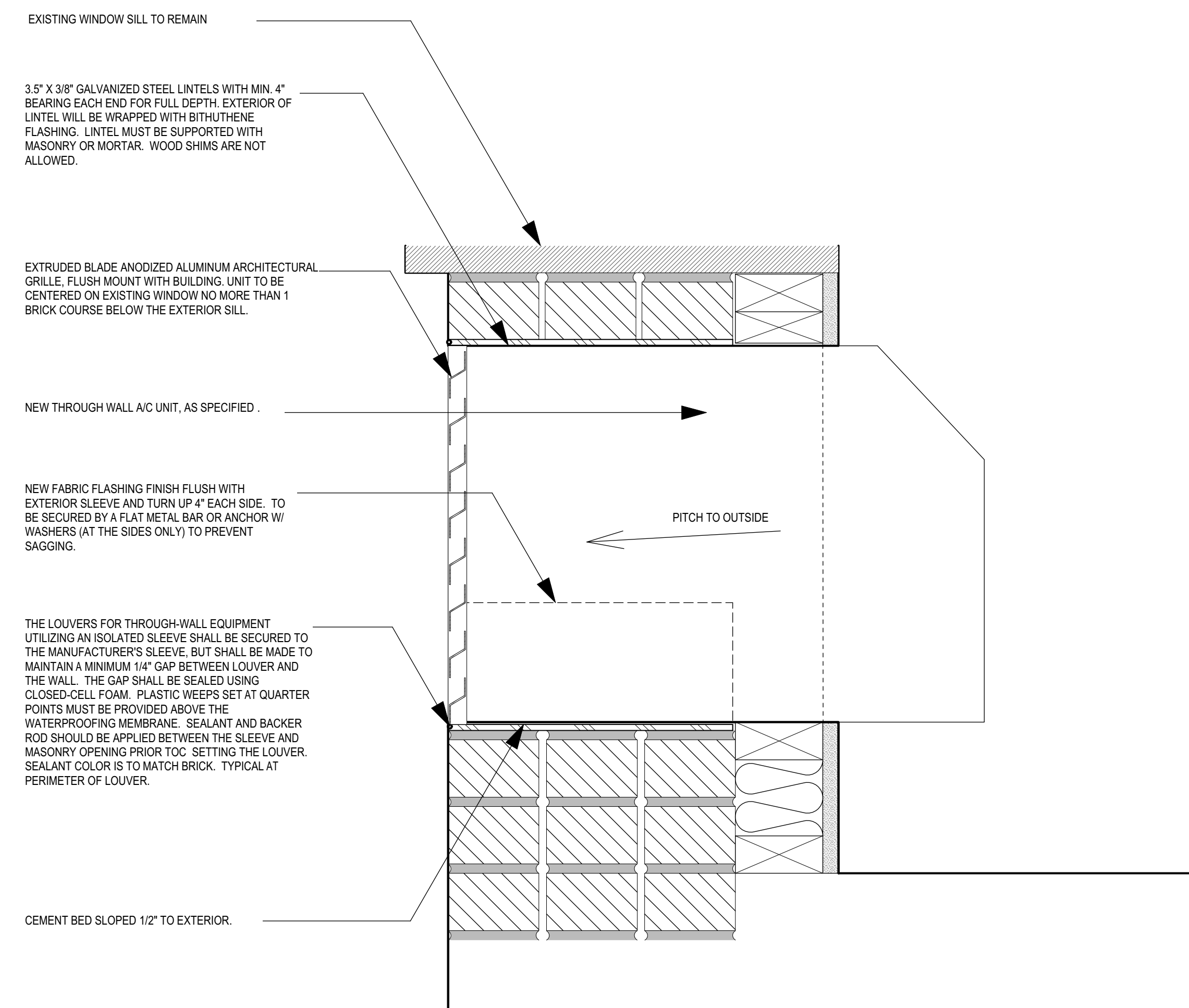
PROJECT FILE NAME:
1823

NYC DOB NO:

SEAL: DATE: 05 MAR 2020
PROJECT NO: 1823
DRAWN BY: RM
CHECKED BY: MG
DRAWING NO:
A-301.00
Sheet 4 of 5



1 TYPICAL WINDOW ELEVATION WITH THRU WALL AC UNIT
 SCALE: 1" = 1'-0"



2 TYPICAL THRU WALL AC DETAIL
 SCALE: 3" = 1'-0"

Thru-the-wall Air Conditioners

Uni-fit®

Universal fit accommodates
a variety of competitor's sleeves
from 24 1/2" wide to 27" wide.



FRIEDRICH

1883

THE EXPERTS IN ROOM AIR CONDITIONING

Uni-fit®

RESIDENTIAL GRADE THRU-THE-WALL AIR CONDITIONERS

Universal fit for easy replacement in existing 24 1/2", 26" or 27" sleeves

FITS SLEEVES
24 1/2", 26" AND 27" WIDE



Select MODE, FAN SPEED, MONEY SAVER®, adjust TEMPERATURE and set the TIMER.

IMPORTANT: 1" gap on sides and 1/2" gap at top allows installation into varying sleeve sizes. The gap can be covered by two-piece trim ring that fits over the chassis front.

Decorative trim ring comes standard with chassis.



Comfort & Convenience

- 6-way air flow control
- Remote control
- 24-hour timer
- Check filter reminder
- 3-speed fan
- Auto restart
- Defrost control

Energy Management

- Money Saver® setting saves money by running the fan only when the compressor is running
- ENERGY STAR® qualified models

Health and Indoor Air Quality

- Washable antimicrobial filter
- Stale air exhaust

Installation Features

- Universal fit decorative trim ring
- Chassis designed to fit 24 1/2" to 27" sleeves
- USC sleeve fits standard 26" sleeve opening. See installation manual for exact dimensions.

DIFFERENT BRAND? NO PROBLEM UNI-FIT® INSTALLS IN MANY EXISTING SLEEVES

Sleeve Dimensions	Friedrich USC Sleeve	Amana	Carrier [51S Series]	Fedders/ Emerson/ Friedrich WSE	Emerson/ Fedders	GE/ Hotpoint	Whirlpool	White-Westinghouse/ Frigidaire/ Carrier [52F Series]
Height (inches)	15 1/2	15 5/8	16 7/8	16 3/4	15 3/4	15 5/8	16 1/2	15 1/4
Width (inches)	25 7/8	26	25 3/4	27	26 3/4	26	25 7/8	25 1/2
Depth (inches)	16 3/4	16 7/8	18 5/8	16 3/4 or 19 3/4	15	16 7/8	17 1/8 or 23	16, 17 1/2 or 22

Optional Accessories

Uni-Fit® USC Sleeve Exterior Grilles



STANDARD GRILLE

Ships with USC sleeve
Expanded aluminum grille designed for use with USC sleeve.



REPLACEMENT GRILLE

Ships with US/UE chassis. Black plastic for use on existing sleeves without any grille.



ARCHITECTURAL GRILLE-UXAA

Optional brushed aluminum grille.

IMPORTANT:

When installing into an existing sleeve, consult Installation Section of your Installation/Operation Manual to determine whether or not the grille needs to be replaced and/or a baffle adapter (included with chassis) should be used.

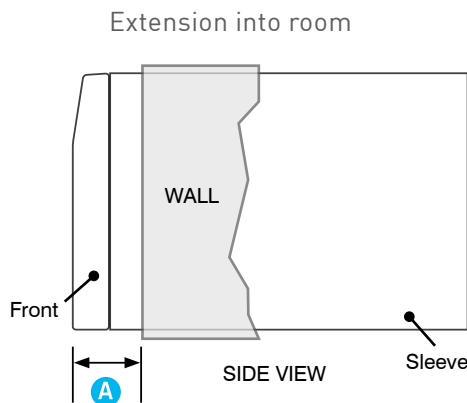
SLEEVE/CHASSIS DIMENSIONS

Model	Height	Width	Depth	Depth with Front	Minimum Extension Into Room	Minimum Extension Outside	Thru-the-wall Finished Hole		
							Height	Width	Max. Depth
Uni-Fit®									
USC Sleeve	15 1/2"	25 7/8"	16 3/4"	20 1/2"	-	1/2"	15 3/4"	26 1/8"	16 1/4"
US Chassis	14 3/8"	24"	18 1/2"	20 1/8"	3 3/4"	-	-	-	-
UE Chassis	14 3/8"	24 5/8"	18"	19 5/8"	3 1/2"	-	-	-	-

IMPORTANT:

US chassis w/front fully installed into USC sleeve extends into the room 3 3/8". UE chassis w/front fully installed into USC sleeve extends into the room 2 7/8". 1" gap on sides and 1/2" gap at top can be covered by two-piece trim ring that fits over the chassis front.

- A** Front extension into room
US= 3 3/8"
UE= 2 7/8"



NOTE: Chassis requires USC sleeve for new installations (sold and shipped separately)

SPECIFICATIONS

★ ENERGY STAR® models




Model	Cooling Btu	Heating Btu	Volts Rated	Cooling Amps	Cooling Watts	Heating Amps	Heating Watts	Energy Efficiency Ratio EER	CEER	Estimated Yearly Energy Cost	Moisture Removal Pints/HR	CFM	Sleeve	Net Weight Lbs.	Ship Weight Lbs.
UNI-FIT®															
<i>Cool Only</i>															
★ US08D10B	8000	-	115	7.4	810	-	-	9.8	9.7	\$73	2.2	260	USC	73	79
★ US10D10B	9800	-	115	9.2	1000	-	-	9.8	9.7	\$90	3.2	260	USC	78	84
★ US12D10B	11500	-	115	10.4	1170	-	-	9.8	9.7	\$106	3.8	290	USC	78	86
★ US10D30B	10000/9800	-	230/208	4.7/5.1	1020/1000	-	-	9.8/9.8	9.7/9.7	\$92	3.2	285	USC	80	87
★ US12D30B	11500/11200	-	230/208	5.3/5.7	1170/1140	-	-	9.8/9.8	9.7/9.7	\$106	3.8	290	USC	80	87
US14D30B*	13000/12600	-	230/208	7.0/7.5	1530/1430	-	-	8.5/8.5	*	\$138	4.0	310	USC	87	94
<i>Cool with Electric Heat</i>															
UE08D11C	8000	3850	115	7.4	810	10.7	1230	9.8	9.7	\$73	2.2	260	USC	73	79
UE10D33C	10000/9800	11200/9200	230/208	4.7/5.1	1020/1000	15.3/14.0	3500/2900	9.8/9.8	9.7/9.7	\$92	3.2	285	USC	78	84
UE12D33C	11200/11000	11200/9200	230/208	5.2/5.6	1140/1112	15.3/14.0	3500/2900	9.8/9.8	9.7/9.7	\$103	3.8	290	USC	80	87

* Limited availability. Manufactured prior to 6/01/2014.

Due to continuing research in new energy-saving technology, specifications are subject to change without notice. As an ENERGY STAR® partner, Friedrich Air Conditioning Co. has determined that the selected ENERGY STAR® models meet the ENERGY STAR® guidelines for energy efficiency.

Your operating costs will depend on your utility rates and use. The estimated operating cost is based on a electricity cost of \$.12 per kWh. For more information, visit www.ftc.gov/energy.

PLUG FACE/CIRCUIT RATING

Uni-Fit® Model Number	Circuit Rating Breaker or T-D Fuse	Plug Face (NEMA#)	Power Cord Length (ft.)	Wall Outlet Appearance
US08D10B, UE08D11C US10D10B, US12D10B	125V - 15A	5 - 15P	6	
US10D30B, US12D30B, US14D30B	250V - 15A	6 - 15P	6	
UE10D33C, UE12D33C	250V - 20A	6 - 20P	6	

Model	Carton Dimensions INCHES		
	Height	Width	Depth
Uni-Fit®			
USC Sleeve	17 7/8"	28"	19 1/4"
US Chassis	17 1/4"	27 3/4"	22 1/4"
UE Chassis	17 1/4"	27 3/4"	22 1/4"

Power cords are located on front right of Uni-Fit models.



Friedrich Air Conditioning Co. | 10001 Reunion Place, Suite 500 | San Antonio, TX 78216 | 877.599.5665 | www.friedrich.com