

APPLICATION TO THE NEW YORK CITY LANDMARKS PRESERVATION COMMISSION FOR THE TWO STORY ADDITION OF A SINGLE FAMILY RESIDENCE 16 LEROY ST, NEW YORK , NY 10014

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NOT TO SCALE
FEB 5, 2020

PROJECT:

RESIDENCE
16 LEROY ST.
NEW YORK, NY

TITLE SHEET

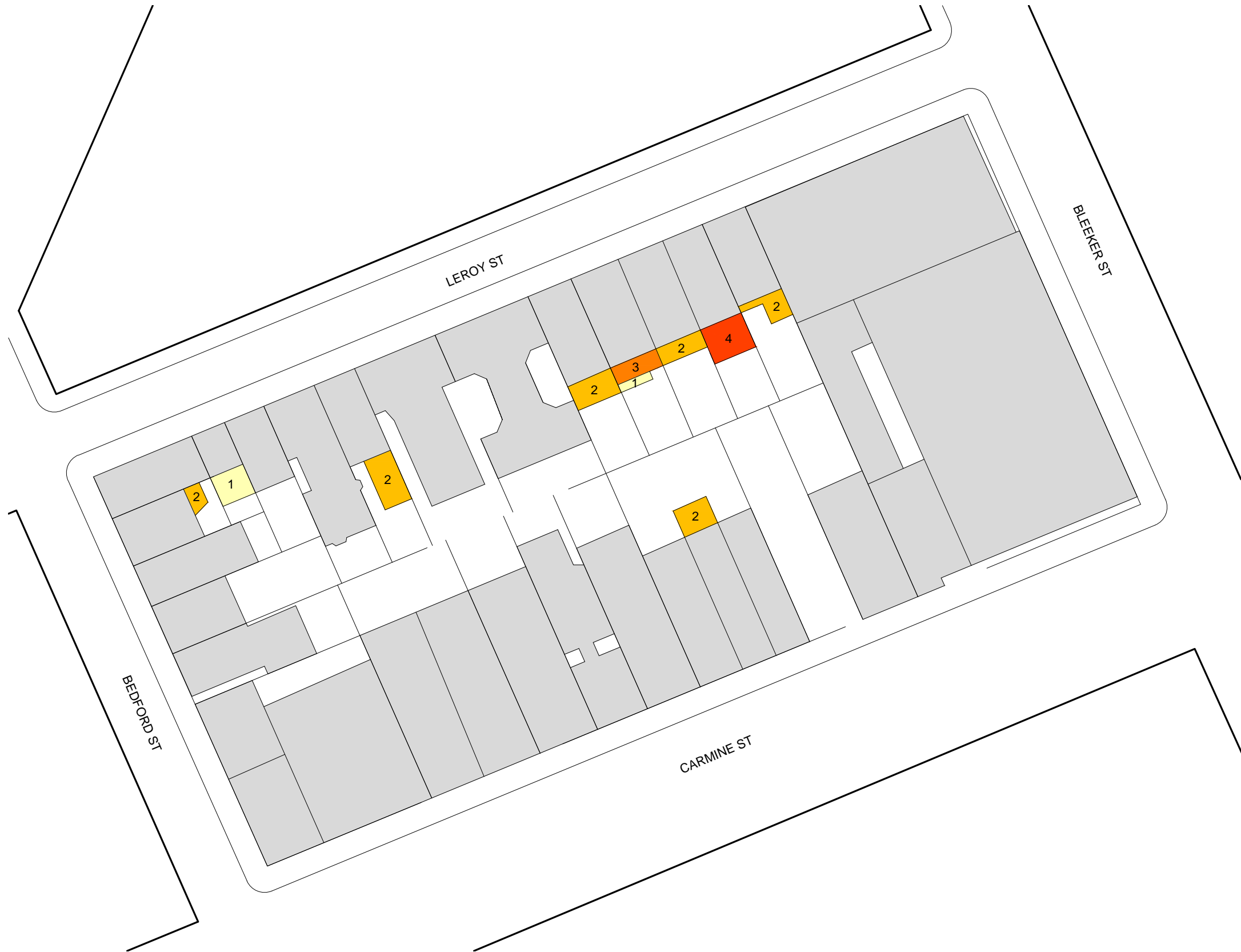
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-

SEAL & SIGNATURE: DATE: 4/11/2019
SCALE: 1/4"=1'-0"
PROJ. NO: -
DRAWN BY: -
CHK BY: -
DWG NO:

LPC-000.00

1 OF 9

ADDRESS: 16 LEROY ST
LOT: 15
BLOCK: 586
ZONE: R6
ZONING MAP NUMBER: 12A
HEIGHT: CELLAR + 4 STORIES
CONSTRUCTION CLASS: 3 NON FIREPROOF



KEY

- BUILDING
- 1 STORY ADDITION (BASEMENT)
- 2 STORY ADDITION (BASEMENT & 1ST)
- 3 STORY ADDITION (BASEMENT, 1ST & 2ND)
- 4 STORY ADDITION (BASEMENT, 1ST, 2ND & 3RD)



NOT TO SCALE
FEB 5, 2020

PROJECT:

RESIDENCE
 16 LEROY ST.
 NEW YORK, NY

BLOCK PLAN

SEAL & SIGNATURE:	DATE: 4/25/2019
	SCALE: AS SHOWN
	PROJ. NO: -
	DRAWN BY: -
	CHK BY: -
	DWG NO: -

LPC-001.00



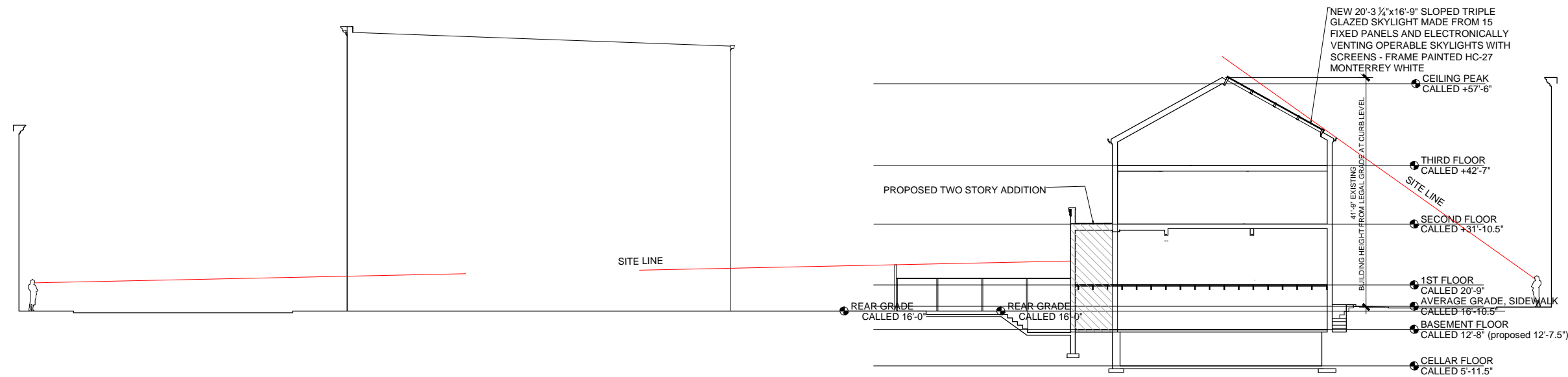
1 EXISTING SOUTH PHOTO FROM CARMINE ST
 Scale: NTS



2 EXISTING SOUTH FACADE BUILDING PHOTO
 Scale: NTS



3 EXISTING NORTH FACADE BUILDING PHOTO
 Scale: NTS



4 SITE SECTION WITH PUBLIC VIEW SITELINES
 Scale: 1"=10'-0"

NOT TO SCALE
 FEB 5, 2020

PROJECT:

RESIDENCE
 16 LEROY ST.
 NEW YORK, NY

EXISTING EXTERIOR PHOTOS & SITE SECTION W/ PUBLIC VIEW SITE LINES

SEAL & SIGNATURE: _____ DATE: 4/25/2019
 SCALE: AS SHOWN
 PROJ. NO: _____
 DRAWN BY: _____
 CHK BY: _____
 DWG NO: _____

LPC-100.00

9 OF 16



16 LEROY ST. SKYLIGHT TOP
 (DOTTED) HIDDEN BELOW
 VISIBILITY LINE OF SITE -
 NOTE THAT PROPOSED
 SKYLIGHT EXTENDS 4' MAX.
 ABOVE EXISTING ROOF LINE

16 LEROY ST. EXISTING
 NORTH ROOF EDGE AND
 GUTTER

16 LEROY ST. EXISTING
 NORTH BUILDING FACADE



16 LEROY ST. SKYLIGHT TOP
 (DOTTED) HIDDEN BELOW
 VISIBILITY LINE OF SITE -
 NOTE THAT PROPOSED
 SKYLIGHT EXTENDS 4' MAX.
 ABOVE EXISTING ROOF LINE

16 LEROY ST. EXISTING
 NORTH ROOF EDGE AND
 GUTTER

16 LEROY ST. EXISTING
 NORTH BUILDING FACADE

NOT TO SCALE
 FEB 5, 2020

PROJECT:

RESIDENCE
 16 LEROY ST.
 NEW YORK, NY

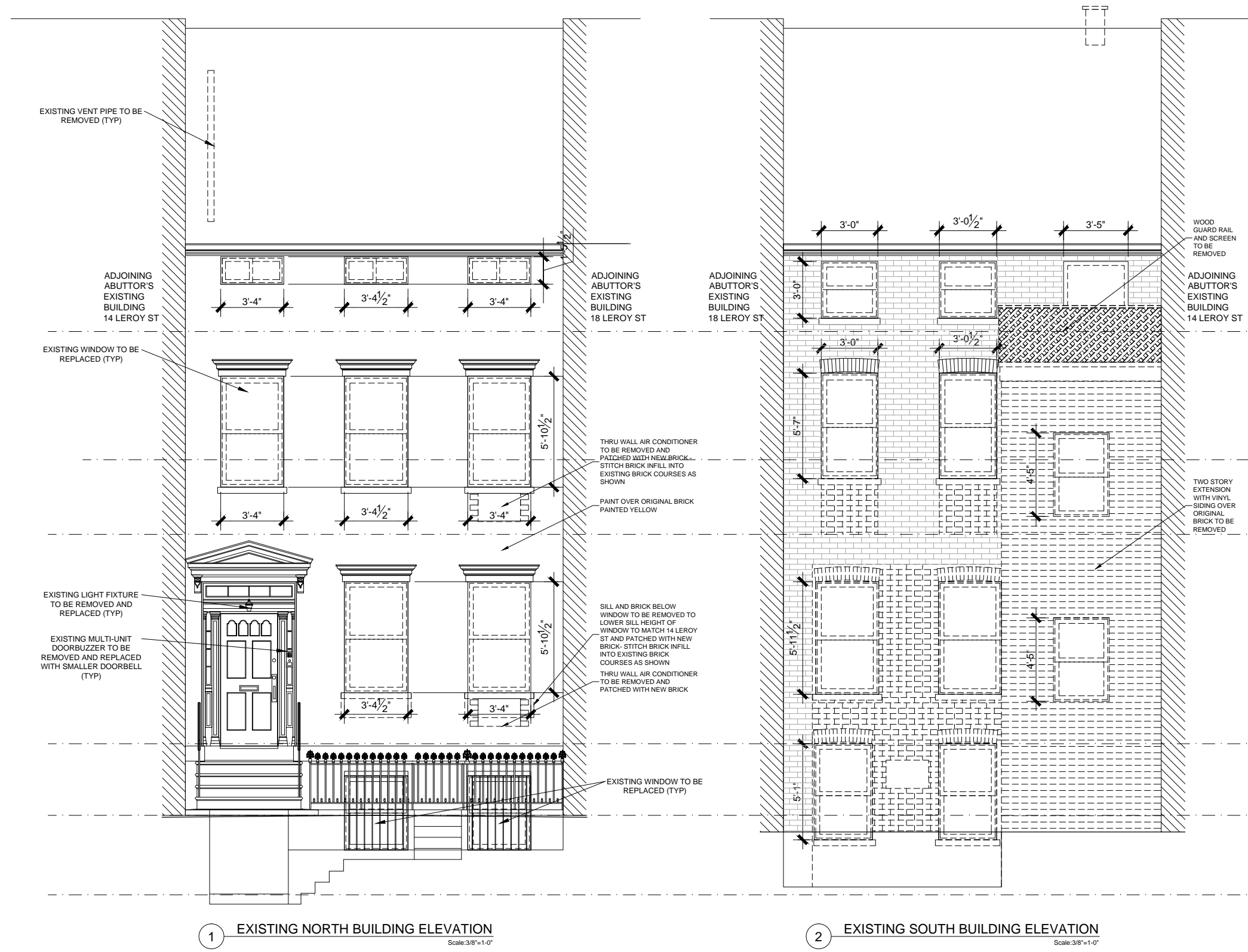
EXISTING EXTERIOR
 PHOTOS 2
 FROM PUBLIC VIEW
 STREET CORNERS

SEAL & SIGNATURE: DATE: 4/25/2019
 SCALE: NTS
 PROJ. NO: -
 DRAWN BY: -
 CHK BY: -
 DWG NO:

LPC-101.00

1 EXISTING NORTH FACADE BUILDING PHOTO FROM BEDFORD STREET END
 Scale: NTS

2 EXISTING NORTH FACADE BUILDING PHOTO FROM BLEEKER STREET END
 Scale: NTS



NOT TO SCALE
 FEB 5, 2020

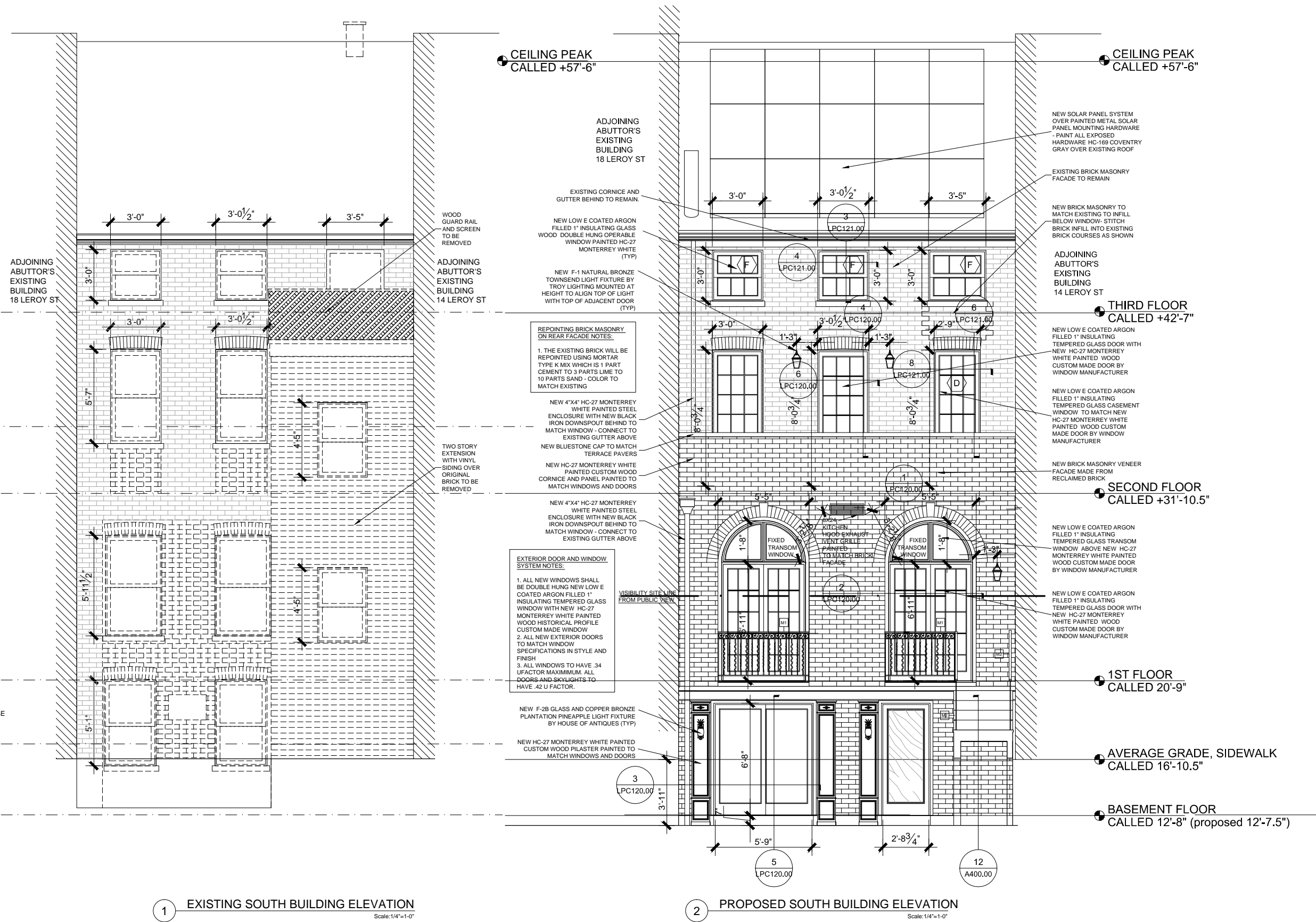
PROJECT:

RESIDENCE
 16 LEROY ST.
 NEW YORK, NY

EXISTING EXTERIOR
 ELEVATIONS

SEAL & SIGNATURE: _____ DATE: 4/25/2019
 SCALE: 1/4"=1'-0"
 PROJ. NO: _____
 DRAWN BY: _____
 CHK BY: _____
 DWG NO: _____

LPC-110.00



NOT TO SCALE
FEB 5, 2020

PROJECT:
RESIDENCE
16 LEROY ST.
NEW YORK, NY

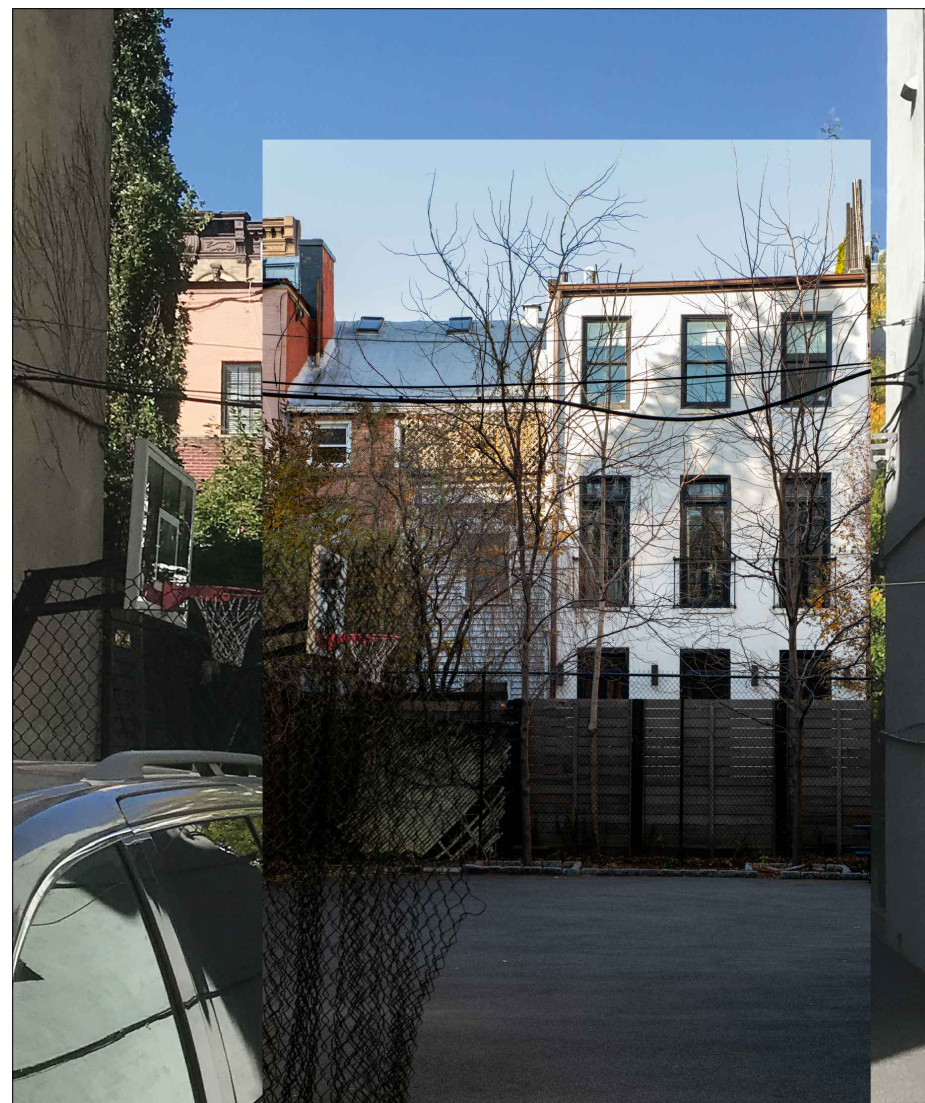
PROPOSED AND EXISTING
REAR ELEVATIONS

SEAL & SIGNATURE: DATE: 4/25/2019
 SCALE: 1/4"=1'-0"
 PROJ. NO: -
 DRAWN BY: -
 CHK BY: -
 DWG NO: -

LPC-111.00
 6 OF 9



1 PROPOSED SOUTH BUILDING ELEVATION FROM PUBLIC VIEW ZOOMED IN
Scale:NTS



2 EXISTING SOUTH BUILDING ELEVATION FROM PUBLIC VIEW ZOOMED IN
Scale:NTS

NOT TO SCALE
FEB 5, 2020

PROJECT:

RESIDENCE
16 LEROY ST.
NEW YORK, NY

COLOR RENDERING OF
PROPOSED & EXISTING
REAR ADDITION PHOTO
FROM PUBLIC VIEW

SEAL & SIGNATURE: DATE: 4/25/2019
SCALE: NTS
PROJ. NO: -
DRAWN BY: -
CHK BY: -
DWG NO: -

LPC-112.00



1 PROPOSED SOUTH BUILDING ELEVATION FROM PUBLIC VIEW
Scale: NTS



2 EXISTING SOUTH BUILDING ELEVATION FROM PUBLIC VIEW
Scale: NTS

NOT TO SCALE
FEB 5, 2020

PROJECT:

RESIDENCE
16 LEROY ST.
NEW YORK, NY

COLOR RENDERING OF
PROPOSED & EXISTING
REAR ADDITION PHOTO
FROM PUBLIC VIEW

SEAL & SIGNATURE: DATE: 4/25/2019
SCALE: NTS
PROJ. NO: -
DRAWN BY: -
CHK BY: -
DWG NO: -

LPC-113.00

DEMOLITION NOTES:

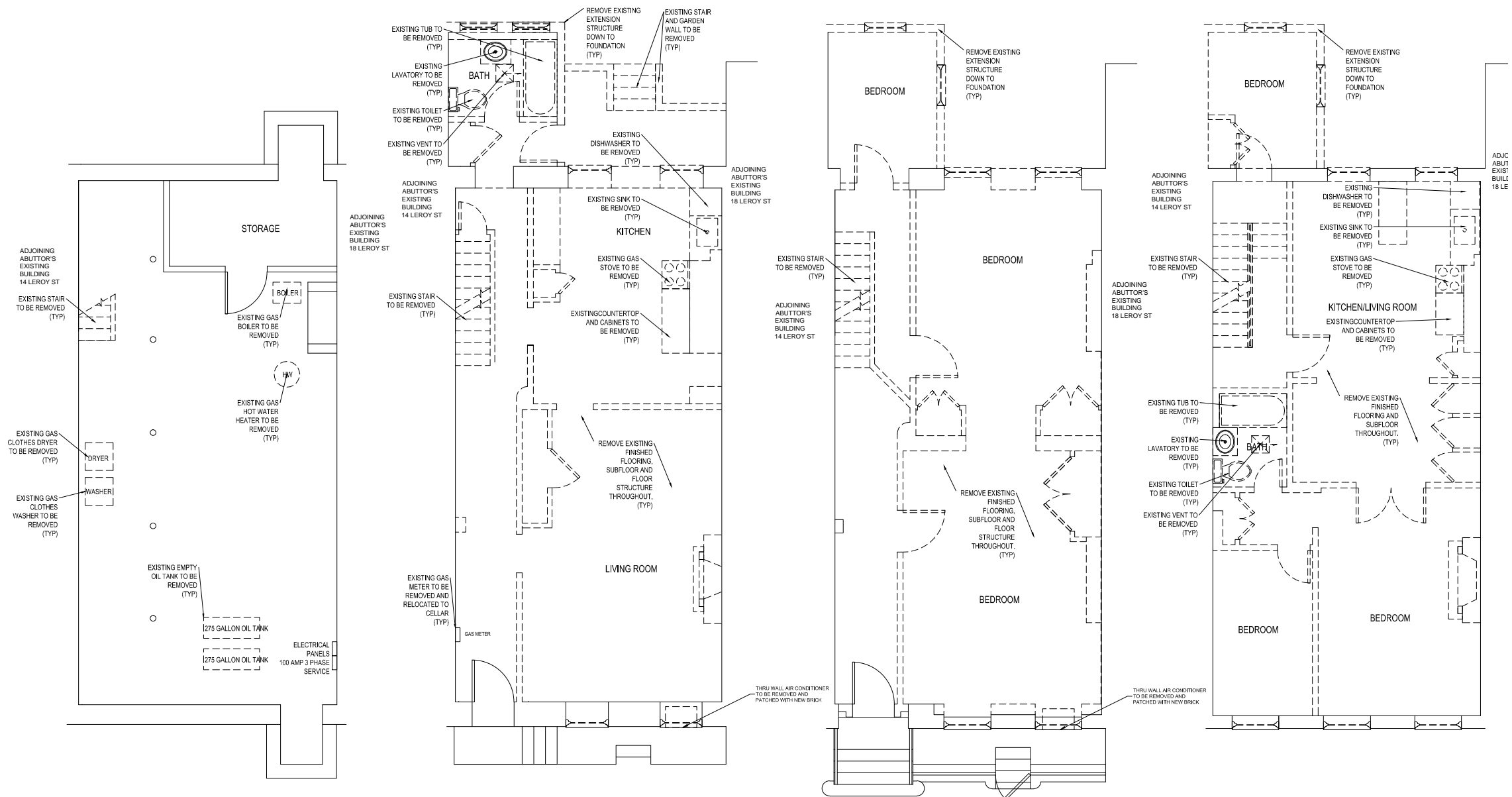
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADHERE TO THE FOLLOWING:

1. ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL OTHER LOCAL, STATE AND FEDERAL AGENCIES AND AUTHORITIES HAVING JURISDICTION.
2. OBTAIN AND PAY FOR ALL PERMITS REQUIRED TO PERFORM THE DEMOLITION WORK AS REQUIRED BY ALL AGENCIES AND AUTHORITIES HAVING JURISDICTION.
3. OBTAIN AND PAY FOR LIABILITY INSURANCE POLICY THAT NAMES AND HOLDS HARMLESS THE BUILDING OWNER AND ITS AGENTS FOR ANY ISSUE ARISING DIRECTLY FROM THE CONTRACTOR OR HIS AGENTS IN REGARDS TO THE PREMISES.
4. THE CONTRACTOR SHALL PROVIDE A FULL TIME SITE SUPERVISOR FOR THE DURATION OF THE DEMOLITION.
5. THE CONTRACTOR SHALL NOTIFY THE BUILDING MANAGEMENT AND ADJACENT NEIGHBORS OF DEMOLITION START IN WRITING AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF DEMOLITION.
6. THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE BUILDING MANAGEMENT IN REGARDS TO ALL CONSTRUCTION DEBRIS REMOVAL PRIOR TO ITS REMOVAL.
7. REMOVE AND SALVAGE DEBRIS FROM THE SITE AS IT ACCUMULATES. DO NOT STORE, SELL, BURN OR OTHERWISE DISPOSE OF DEBRIS ON THE SITE. REMOVE ALL MATERIALS IN SUCH A MANNER AS TO PREVENT SPILLAGE. KEEP ALL PAVEMENTS AND AREAS ADJACENT TO AND LEADING FROM THE SITE, CLEAN, AND FREE OF MUD, DIRT, AND DEBRIS, AT ALL TIMES. ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER. SORT DEBRIS FOR RECYCLING TO THE EXTENT POSSIBLE.
8. CONTRACTOR SHALL COORDINATE AND BE RESPONSIBLE FOR ALL CITY OF NEW YORK REQUIREMENTS FOR THE PROTECTION OF PERSONS, PROPERTIES, TRAFFIC CONTROL, BARRICADES, ETC.
9. CEASE OPERATION IF PUBLIC SAFETY OR REMAINING STRUCTURES ARE ENDANGERED. PERFORM TEMPORARY CORRECTIVE MEASURES UNTIL OPERATIONS CAN BE CONTINUED PROPERLY.
10. IN COMPANY OF THE ENGINEER AND OWNER, VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED PRIOR TO STARTING THE WORK. CAREFULLY IDENTIFY THE LIMITS OF SELECTIVE DEMOLITION. MARK INTERFACE SURFACES AS REQUIRED TO ENABLE THE WORKMEN TO ALSO IDENTIFY THE ITEMS TO BE REMOVED AND STORED, AS WELL AS THE ITEMS TO BE LEFT INTACT.
11. USE MEANS NECESSARY TO PREVENT DUST FROM BECOMING A NUISANCE TO THE PUBLIC, NEIGHBORING STRUCTURES, OR ANY OTHER WORK BEING PERFORMED.
12. EXECUTE DEMOLITION WORK TO ENSURE THE SAFETY OF PERSONS AND ADJACENT PROPERTY AGAINST DAMAGE BY DEBRIS.

13. SHORE AND BRACE EXISTING CONDITIONS AS REQUIRED FOR REMOVAL OF EXISTING CONSTRUCTION OR INSTALLATION OF NEW WORK.
14. COORDINATE THE REMOVAL, RELOCATION, REPLACEMENT, REUSE, SHUTOFF, STUB-OFF, CAPPING-OFF, OR UPGRADING OF ALL EXISTING PLUMBING, AND ELECTRICAL SYSTEMS.
15. REMOVE AND DISPOSE OF CARPET, FLOOR TILE, MASTIC, ADHESIVE AND ALL OTHER FLOORING MATERIALS, IF ANY, RELATED TO OR PART OF THE FINISHED FLOOR.
16. THE CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL ASBESTOS CONTAINING MATERIALS AND IN DOING SO SHALL COMPLY WITH ALL APPLICABLE OSHA REGULATIONS AND ALL OTHER FEDERAL, STATE AND LOCAL GUIDELINES REGARDING ASBESTOS CONTAINING MATERIAL REMOVAL AND DISPOSAL.
17. ALL WORK SHALL NOT IMPACT THE REQUIRED FIRE RATINGS OF THE COLLING, BEAMS, CHASES, OR OTHER FIRE RATED ELEMENTS. IF FIRE-PROOFING IS DISTURBED DURING THE DEMOLITION PHASE, IT MUST BE RESTORED TO ITS ORIGINAL CONDITION AND/OR EQUAL FIRE RATING.
18. CONTRACTOR TO COMPLY WITH ALL DUST CONTROL AND CONSTRUCTION DEBRIS REMOVAL REQUIREMENTS SET FORTH BELOW:
 - A. PROVIDE A DUST CONTAINMENT BARRIER LOCATED AT ALL ENTRANCES TO AND EXITS FROM THE JOB SITE SUCH AS ZIPWALL OR APPROVED EQUAL.
 - B. PROVIDE A DUST REMOVAL MAT AT THE ENTRANCE TO THE WITHIN THE APARTMENT AND WET DOWN THE AREAS TO BE DEMOLISHED AS REQUIRED TO CONTAIN AIR BORN DUST DEBRIS DURING DEMOLITION.
 - C. PROVIDE PROTECTION TO ALL FINISHES IN PUBLIC AREAS ALONG THE DIRECT ROUTE OF THE CONSTRUCTION DEBRIS REMOVAL INCLUDING BUT NOT LIMITED TO HALLWAYS AND ELEVATORS.
 - D. CONTRACTOR SHALL CLEAN ALL PUBLIC AREAS AFFECTED BY THE CONSTRUCTION INCLUDING BUT NOT LIMITED TO AREAS LOCATED ALONG THE DIRECT ROUTE OF THE CONSTRUCTION DEBRIS REMOVAL FROM SITE ON A DAILY BASIS.
19. WHERE DEMOLITION OF EXISTING WALLS IS TO BE PERFORMED, THE STRUCTURAL INTEGRITY AND FIRE RATING OF THE BUILDING MUST NOT BE COMPROMISED.
20. DURING CONSTRUCTION, THE SELECTED CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY STRUCTURAL CONDITIONS NOT IDENTIFIED ON THE APPROVED PLANS.
21. THE CONTRACTOR SHALL NOT PERFORM ANY CHANNELING OF THE STRUCTURAL SLABS OR BEAMS AND NO EXTERIOR WALL PENETRATIONS SHALL BE PERMITTED.
22. ALL DEMOLITION SHALL BE CONDUCTED WITH HAND TOOLS ONLY. PNEUMATIC TOOLS ARE NOT PERMITTED ON THE PROJECT.

DEMOLITION KEY

- EXISTING WALLS, DOORS OR FIXTURES TO BE REMOVED
- EXISTING WALLS, DOORS OR FIXTURES TO REMAIN
- ⊠ EXISTING VENT
- - - - - EXISTING WINDOWS TO BE REMOVED
- EXISTING WINDOWS TO REMAIN



NOT TO SCALE
 FEB 5, 2020



PROJECT:

RESIDENCE
 16 LEROY ST.
 NEW YORK, NY

CELLAR, BASEMENT,
 1ST & 2ND FLOOR
 DEMOLITION PLANS

SEAL & SIGNATURE: _____ DATE: 4/11/2019
 SCALE: 1/4"=1'-0"
 PROJ. NO: _____
 DRAWN BY: _____
 CHK BY: _____
 DWG NO: _____

D-100.00

1 CELLAR FLOOR DEMOLITION PLAN
 Scale: 1/4"=1'-0"

2 BASEMENT FLOOR DEMOLITION PLAN
 Scale: 1/4"=1'-0"

3 FIRST FLOOR DEMOLITION PLAN
 Scale: 1/4"=1'-0"

4 SECOND FLOOR DEMOLITION PLAN
 Scale: 1/4"=1'-0"

DEMOLITION NOTES:

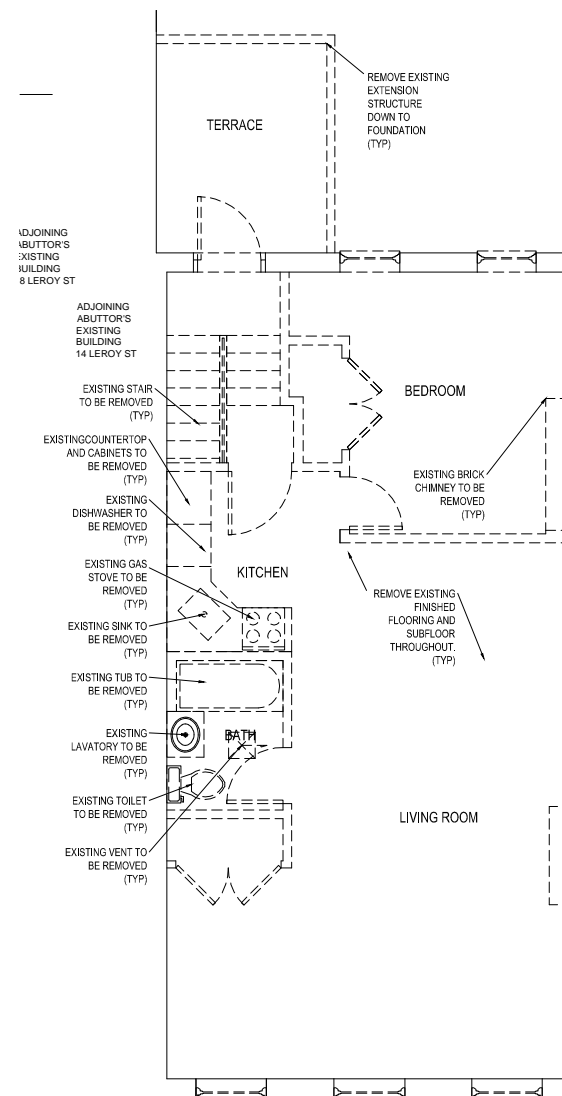
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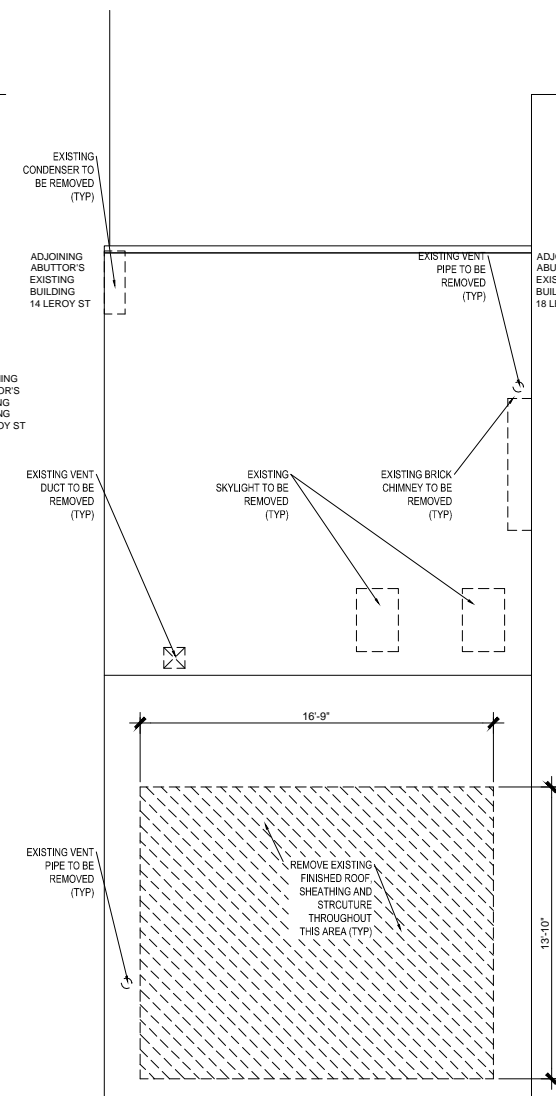
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DEMOLITION KEY

- EXISTING WALLS, DOORS OR FIXTURES TO BE REMOVED
- EXISTING WALLS, DOORS OR FIXTURES TO REMAIN
- ⊗ EXISTING VENT
- - - - - EXISTING WINDOWS TO BE REMOVED
- EXISTING WINDOWS TO REMAIN



1 THIRD FLOOR DEMOLITION PLAN
 Scale: 1/4"=1'-0"



4 ROOF DEMOLITION PLAN
 Scale: 1/4"=1'-0"

NOT TO SCALE
FEB 5, 2020

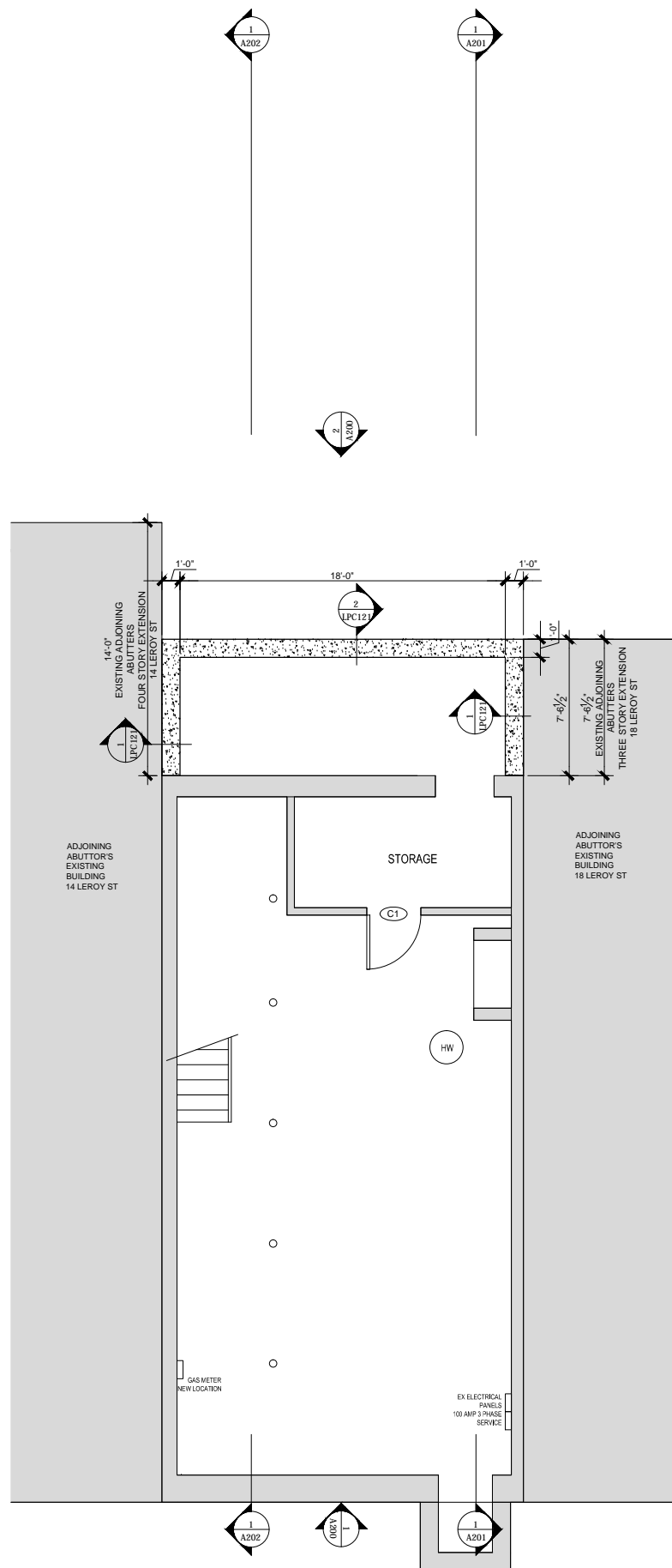
PROJECT:
RESIDENCE
16 LEROY ST.
NEW YORK, NY
3RD FLOOR & ROOF
DEMOLITION PLANS

SEAL & SIGNATURE: _____ DATE: 4/11/2019
 SCALE: 1/4"=1'-0"
 PROJ. NO: _____
 DRAWN BY: _____
 CHK BY: _____
 DWG NO: _____

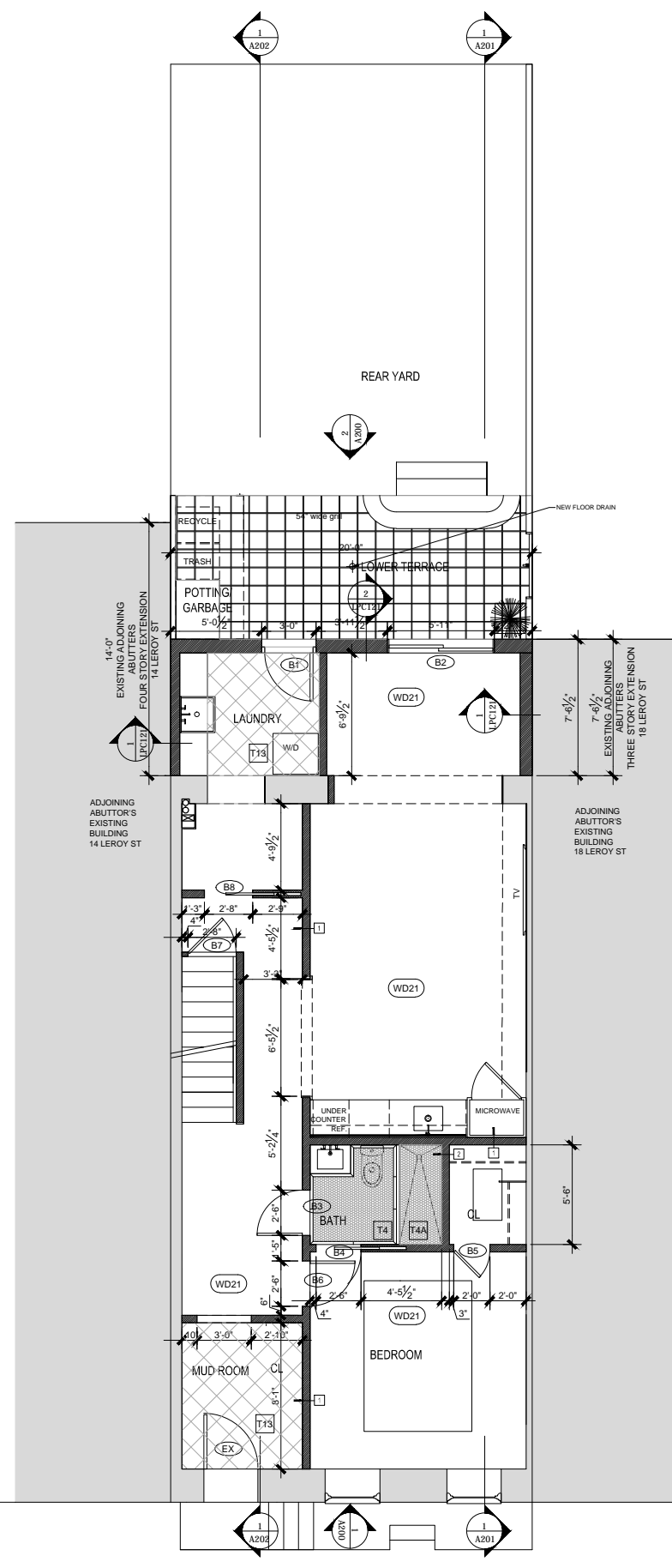
D-110.00

PLAN KEY

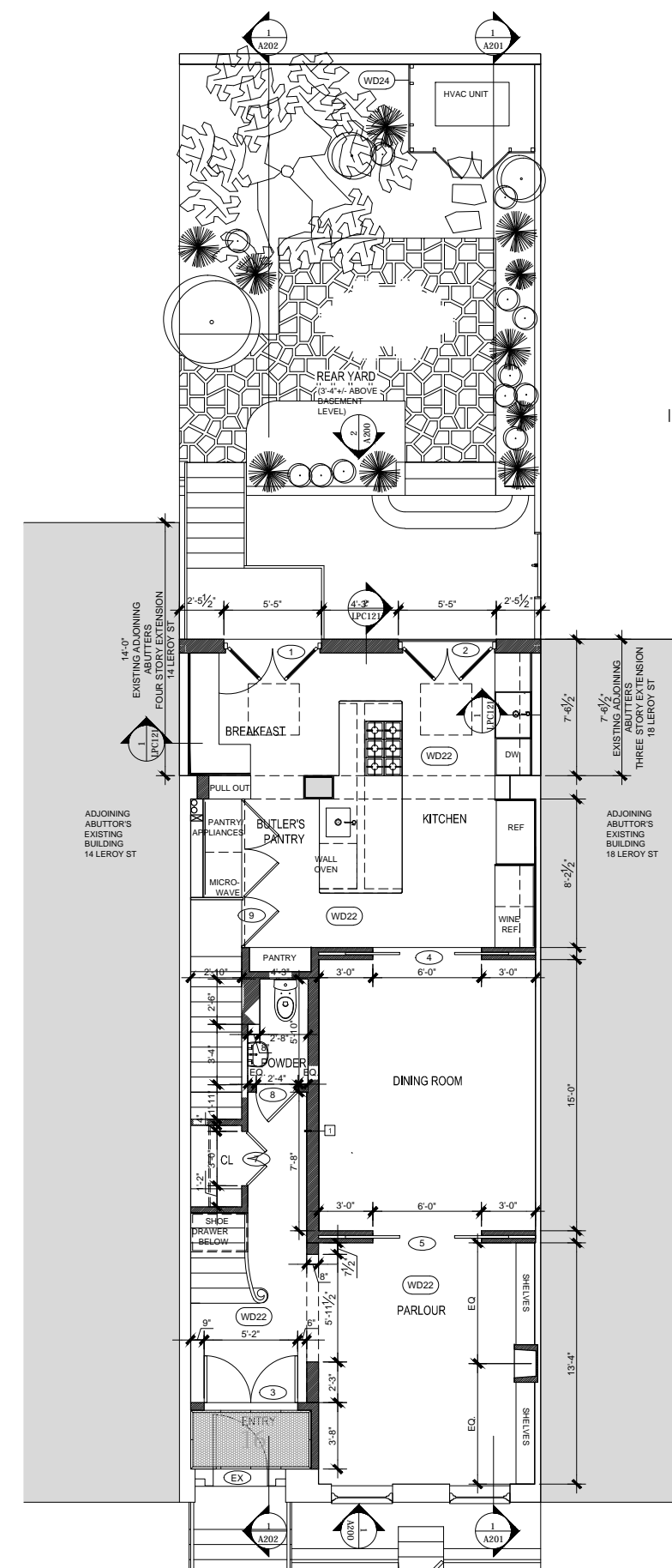
- EXISTING CONSTRUCTION TO REMAIN PATCH, SKIM COAT AND PAINT ONLY [Symbol]
- NEW DRY WALL CONSTRUCTION - REFER TO TYPICAL NEW PARTITION DETAILS ON THIS SHEET FOR MORE INFORMATION [Symbol]
- NEW SMOKE AND CARBON MONOXIDE DETECTOR [Symbol]



1 CELLAR FLOOR PLAN
 Scale: 1/4"=1'-0"



2 BASEMENT FLOOR PLAN
 Scale: 1/4"=1'-0"



3 1ST FLOOR PLAN
 Scale: 1/4"=1'-0"

NOT TO SCALE
 FEB 5, 2020

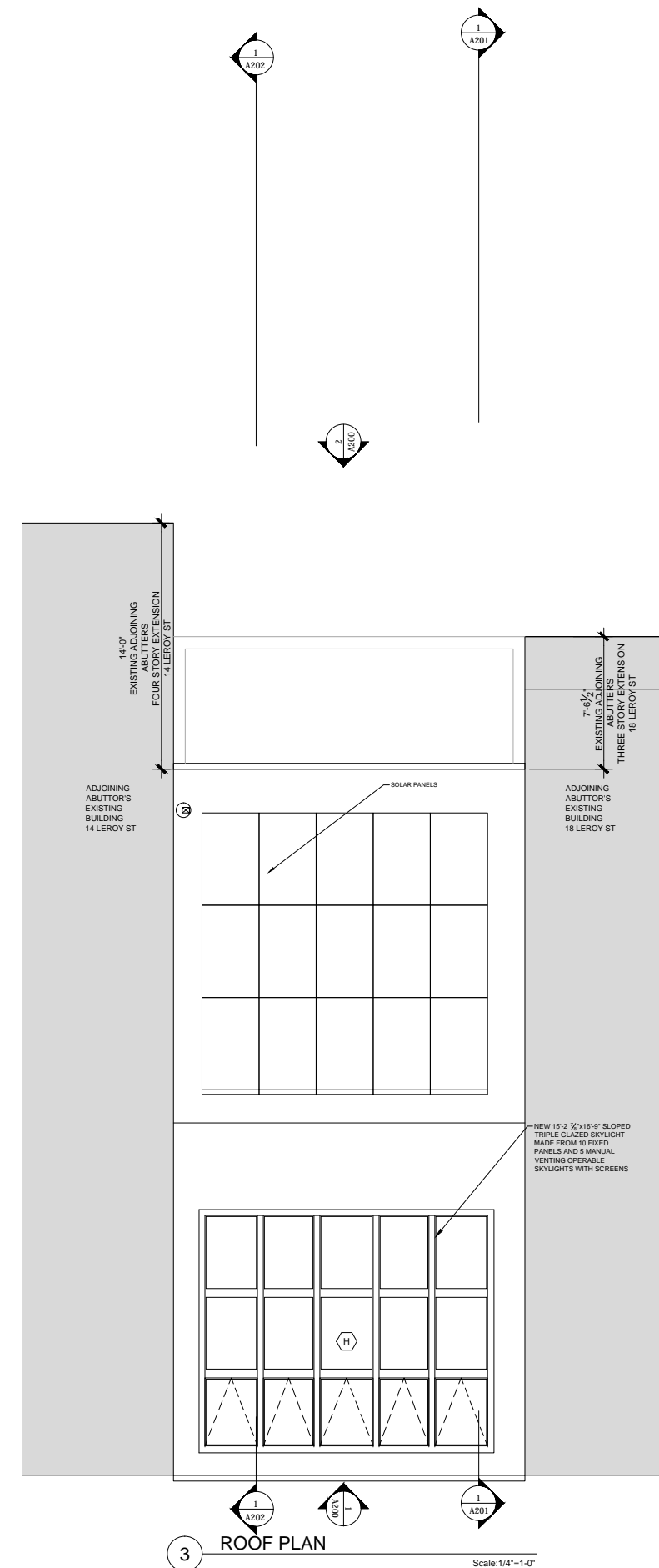
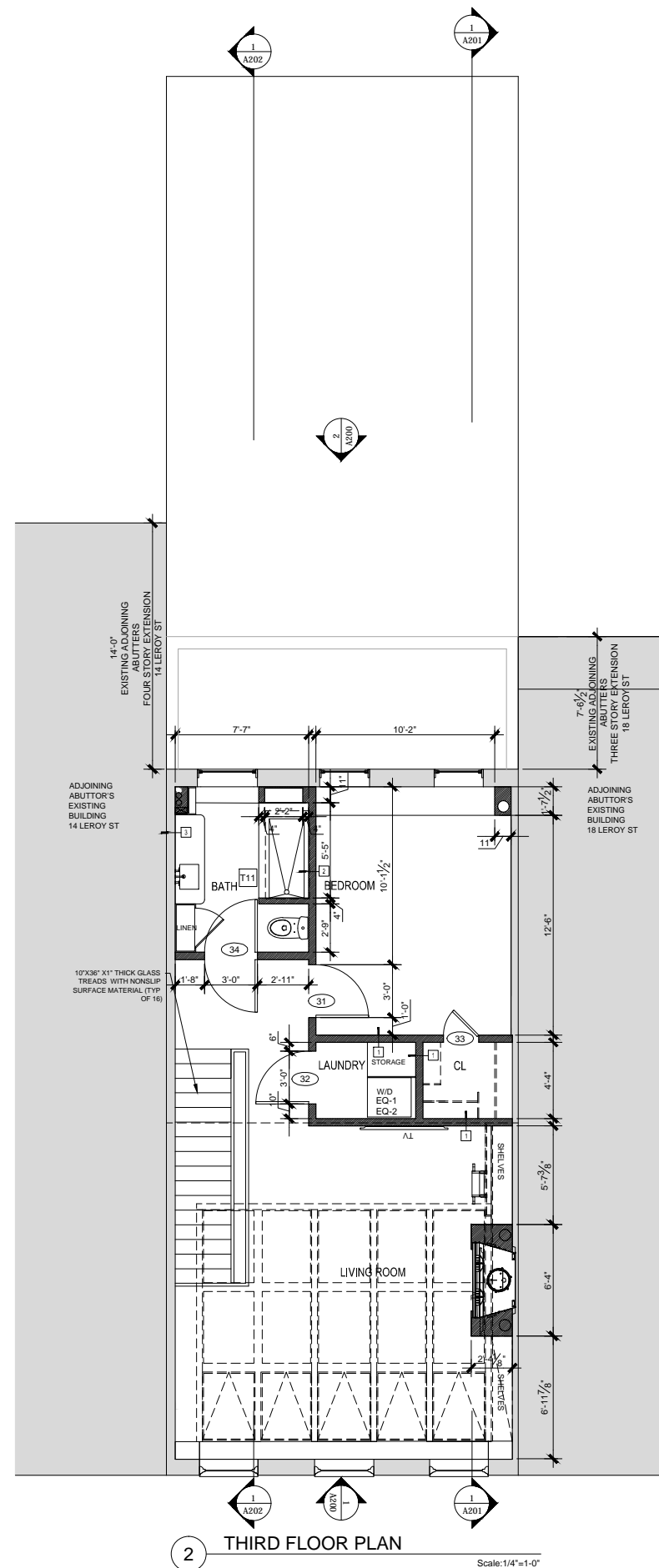
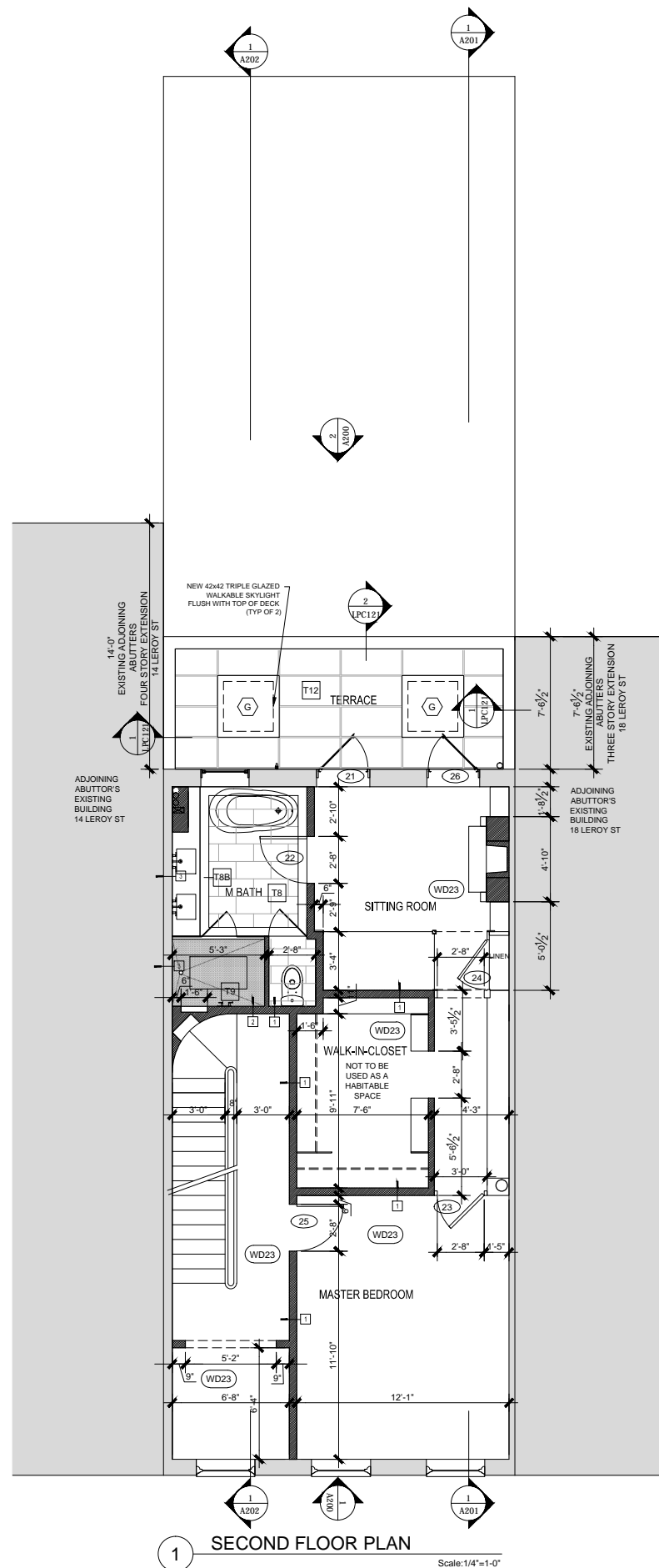
PROJECT:
 RESIDENCE
 16 LEROY ST.
 NEW YORK, NY

PROPOSED
 CELLAR, BASEMENT & 1ST
 FLOOR PLANS

SEAL & SIGNATURE: _____ DATE: 5/19/2019
 SCALE: 1/4"=1'-0"
 PROJ. NO: _____
 DRAWN BY: _____
 CHK BY: _____
 DWG NO: _____

PLAN KEY

- EXISTING CONSTRUCTION TO REMAIN PATCH, SKIM COAT AND PAINT ONLY 1
- NEW DRY WALL CONSTRUCTION - REFER TO TYPICAL NEW PARTITION DETAILS ON THIS SHEET FOR MORE INFORMATION 2
- NEW SMOKE AND CARBON MONOXIDE DETECTOR S



NOT TO SCALE
FEB 5, 2020

PROJECT:

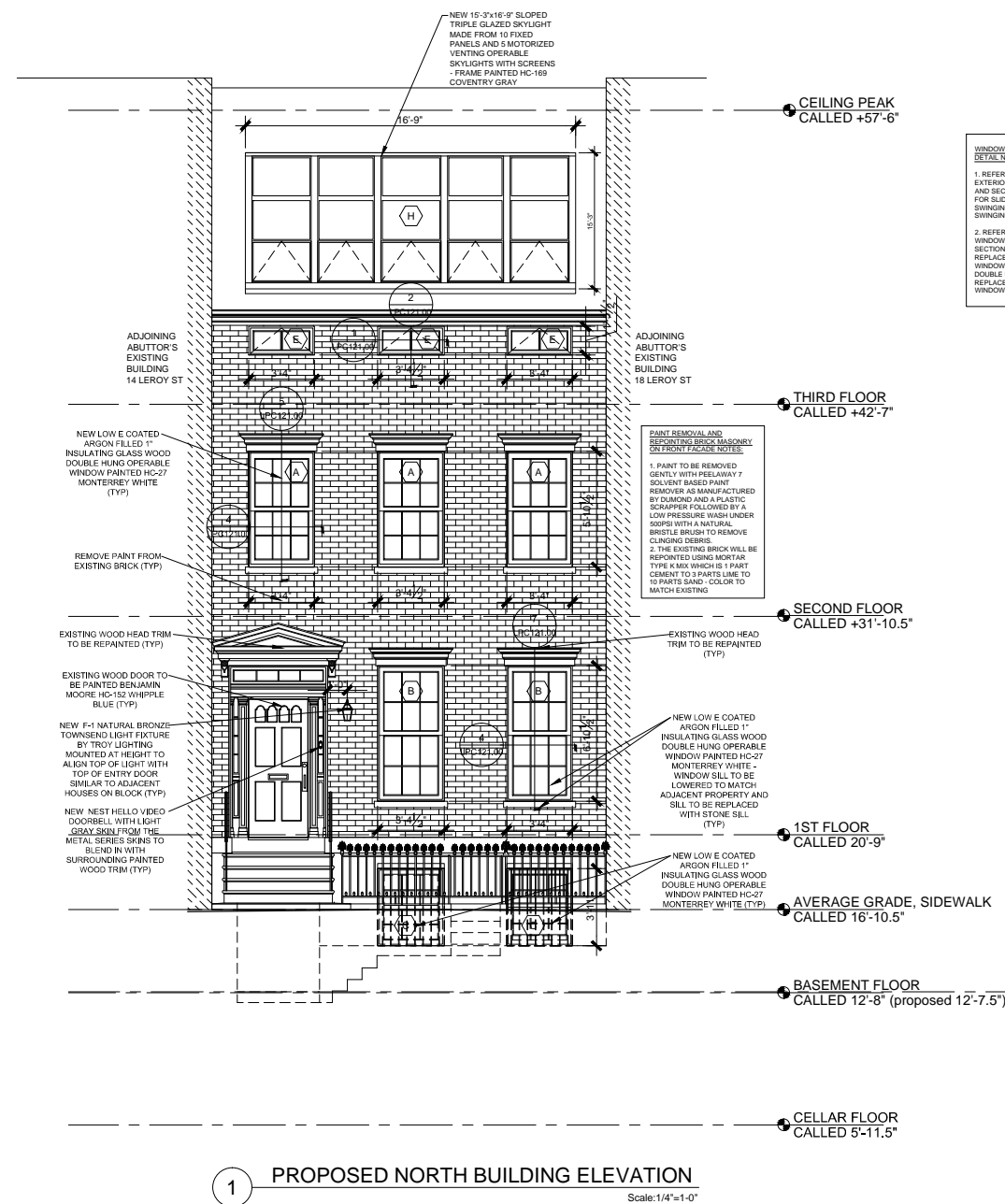
RESIDENCE
16 LEROY ST.
NEW YORK, NY

PROPOSED
FLOOR PLANS

SEAL & SIGNATURE:

DATE: 5/19/2019
 SCALE: 1/4"=1'-0"
 PROJ. NO: -
 DRAWN BY: -
 CHK BY: -
 DWG NO: -

A-110.00

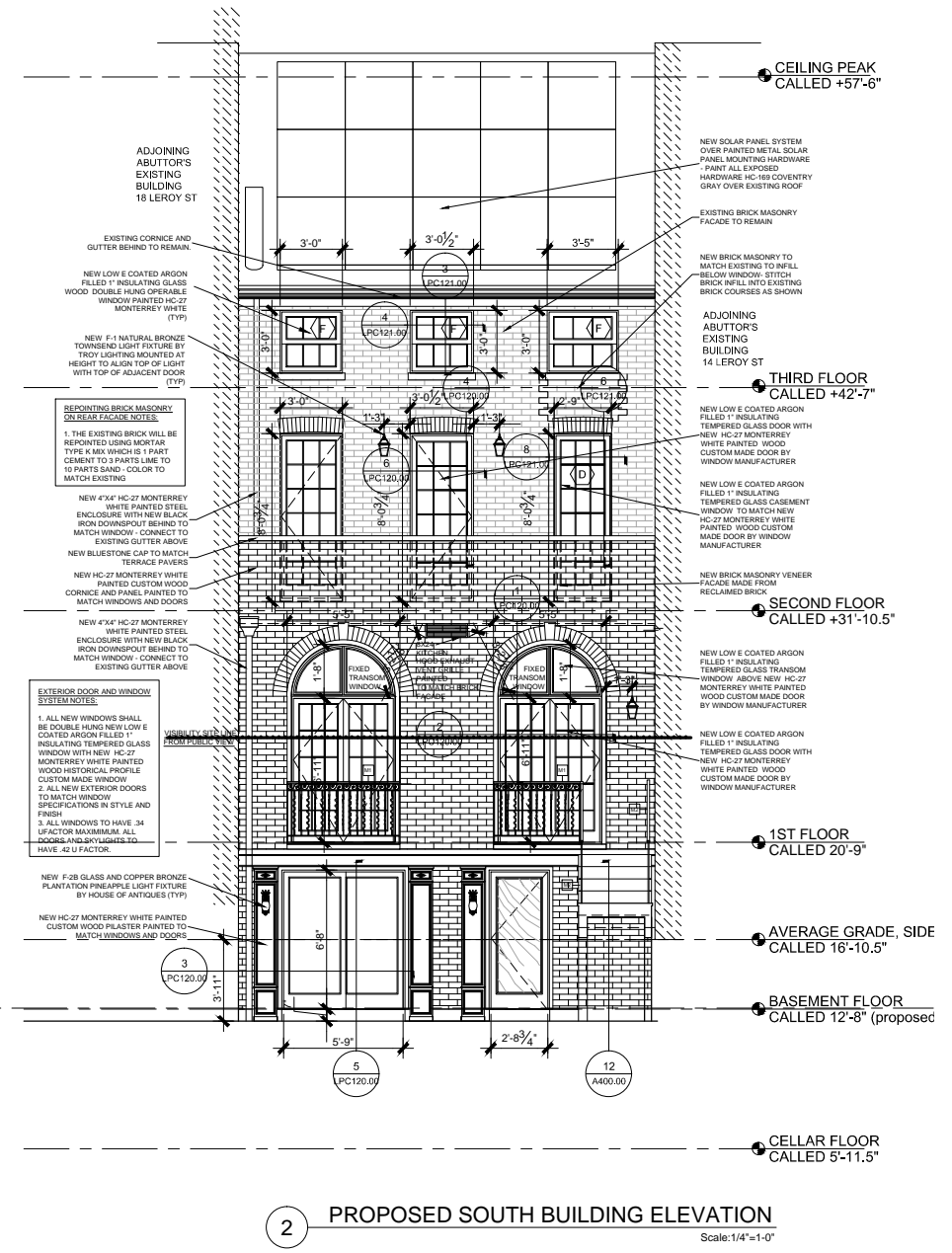


WINDOW AND EXTERIOR DOOR DETAIL NOTES:

1. REFER TO LPC 120.00 FOR EXTERIOR DOOR PLAN VIEW AND SECTION VIEW DETAILS FOR SLIDING, SINGLE SWINGING AND DOUBLE SWINGING DOORS
2. REFER TO LPC 121.00 FOR WINDOW PLAN VIEW AND SECTION VIEW DETAILS FOR REPLACEMENT FINING WINDOWS, REPLACEMENT DOUBLE HUNG WINDOWS, AND REPLACEMENT CASEMENT WINDOWS

PAINT REMOVAL AND REPOINTING BRICK MASONRY ON FRONT FACADE NOTES:

1. PAINT TO BE REMOVED GENTLY WITH PRELAWAY 7 SOLVENT BASED PAINT REMOVER AS MANUFACTURED BY DUNLOP AND A PLASTIC SCRAPER FOLLOWED BY A LOW PRESSURE WASH UNDER SOPS WITH A NATURAL BRISTLE BRUSH TO REMOVE CLINGING DEBRIS.
2. THE EXISTING BRICK WILL BE REPOINTED USING MORTAR TYPE M.M WHICH IS 1 PART CEMENT TO 3 PARTS LIME TO 10 PARTS SAND - COLOR TO MATCH EXISTING



NOT TO SCALE
 FEB 5, 2020

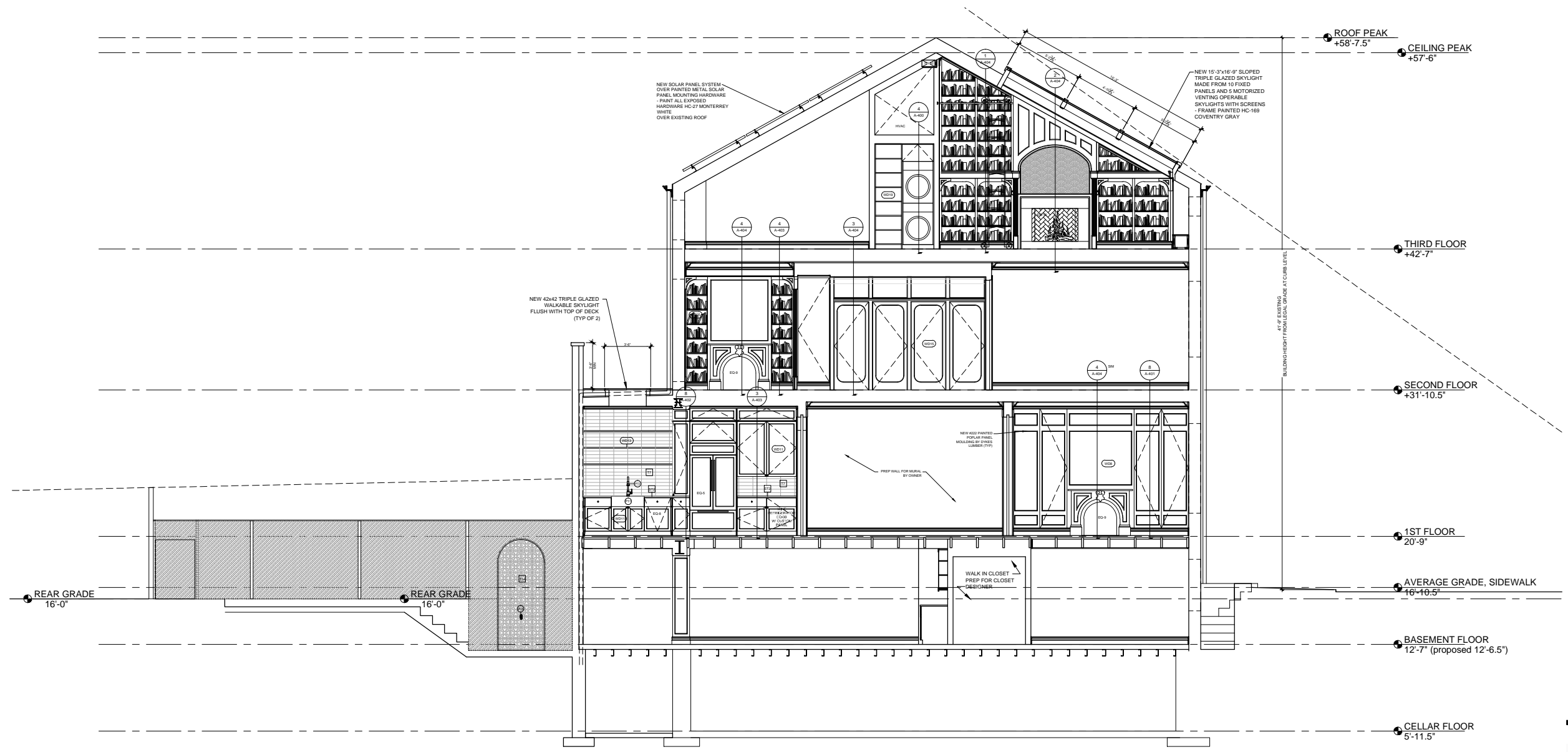
PROJECT:
RESIDENCE
16 LEROY ST.
NEW YORK, NY

PROPOSED SOUTH & NORTH BUILDING ELEVATIONS

SEAL & SIGNATURE: _____ DATE: 5/22/2019
 SCALE: 1/4"=1'-0"
 PROJ. NO: _____
 DRAWN BY: _____
 CHK BY: _____
 DWG NO: _____

A200.00

INTERIOR TRIM NOTE:
 REFER TO TYPICAL WALL AND INTERIOR DOOR DETAILS ON A400.00 FOR INFORMATION ON TYPICAL DOOR TRIM, CROWN AND WALL BASE AND DETAILS ON LPC-120.00 AND LPC-121.00 FOR INFORMATION ON TYPICAL WINDOW AND EXTERIOR DOOR TRIM



1 BUILDING SECTION Scale: 1/4"=1'-0"

**NOT TO SCALE
 FEB 5, 2020**

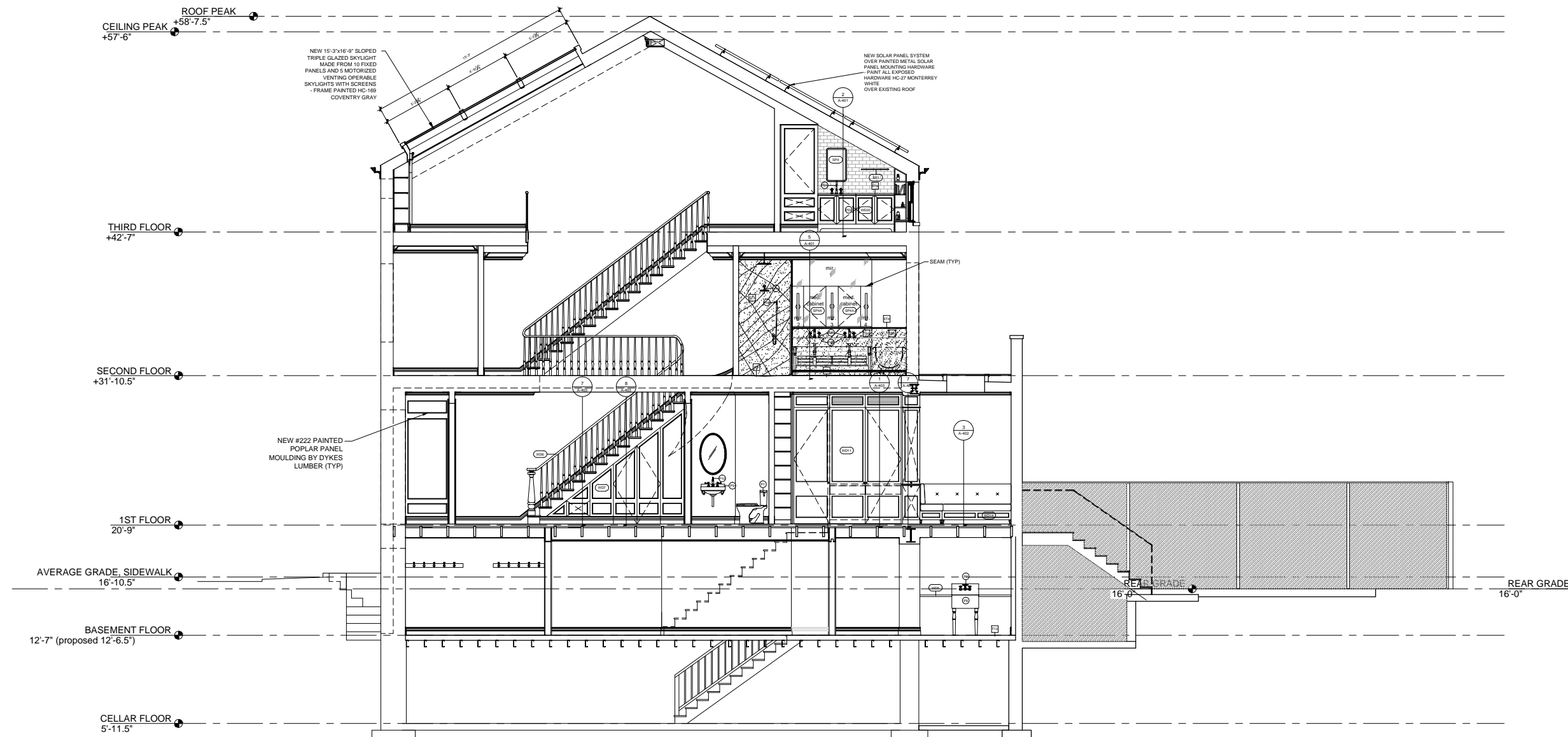
PROJECT:
**RESIDENCE
 16 LEROY ST.
 NEW YORK, NY**

**PROPOSED/SITE
 BUILDING SECTION**

SEAL & SIGNATURE:	DATE: 5/22/2019
	SCALE: 1/4"=1'-0"
	PROJ. NO: -
	DRAWN BY: -
	CHK BY: -
	DWG NO: -

A201.00

INTERIOR TRIM NOTE:
 REFER TO TYPICAL WALL AND
 INTERIOR DOOR DETAILS ON
 A400.00 FOR INFORMATION ON
 TYPICAL DOOR TRIM,
 CROWN AND WALL BASE AND
 DETAILS ON LPC-120.00 AND
 LPC-121.00 FOR INFORMATION
 ON TYPICAL WINDOW AND
 EXTERIOR DOOR TRIM



1 BUILDING SECTION
 Scale: 1/4"=1'-0"

**NOT TO SCALE
 FEB 5, 2020**

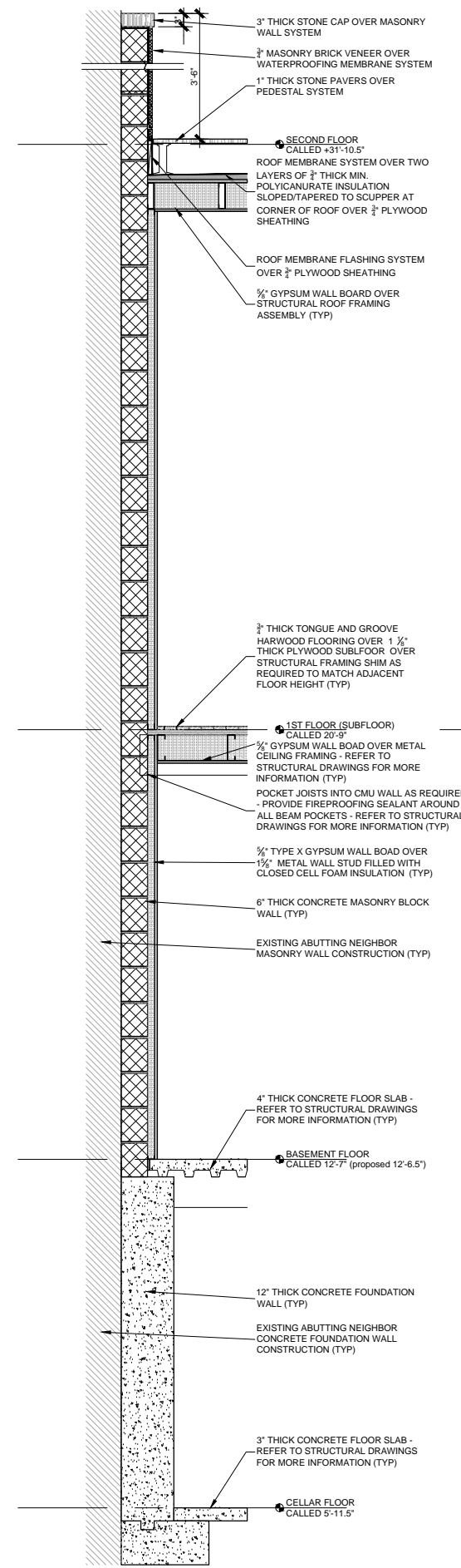
PROJECT:

**RESIDENCE
 16 LEROY ST.
 NEW YORK, NY**

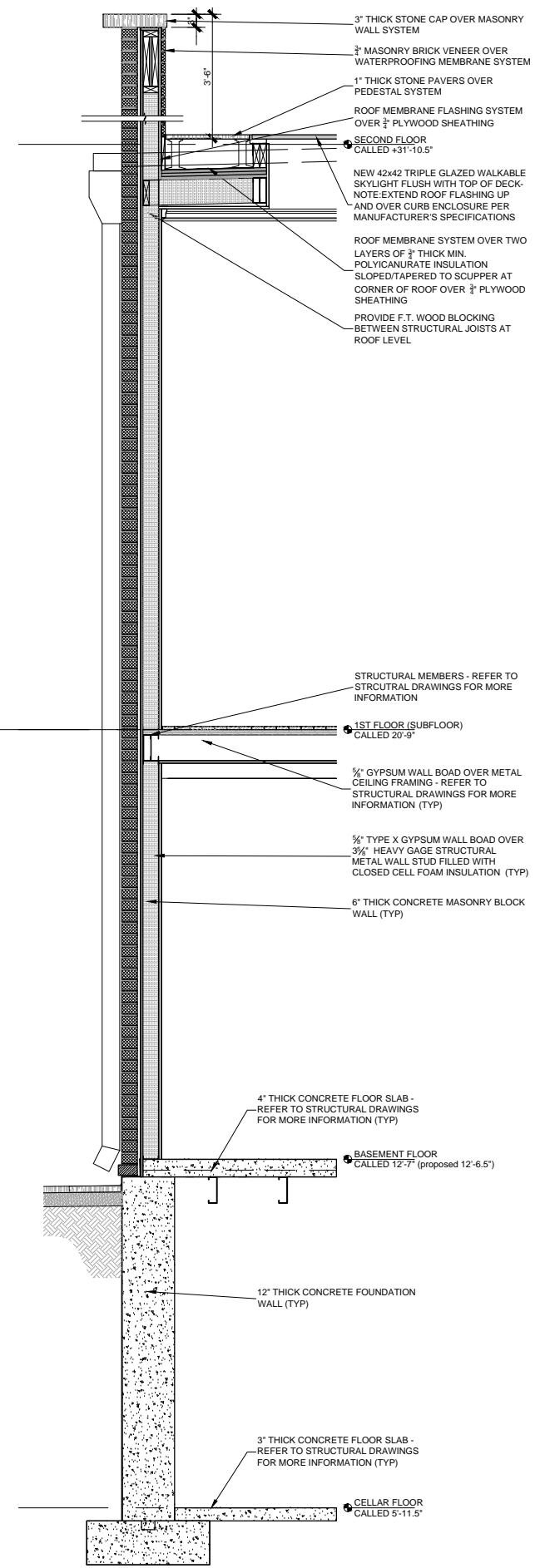
**PROPOSED
 BUILDING SECTION**

SEAL & SIGNATURE: DATE: 5/22/2019
 SCALE: 1/4"=1'-0"
 PROJ. NO: -
 DRAWN BY: -
 CHK BY: -
 DWG NO: -

A202.00



1 EXTENSION WALL SECTION
 SCALE 3/4" = 1'-0"



2 EXTENSION WALL SECTION
 SCALE 3/4" = 1'-0"

NOT TO SCALE
 FEB 5, 2020

PROJECT:

RESIDENCE
 16 LEROY ST.
 NEW YORK, NY

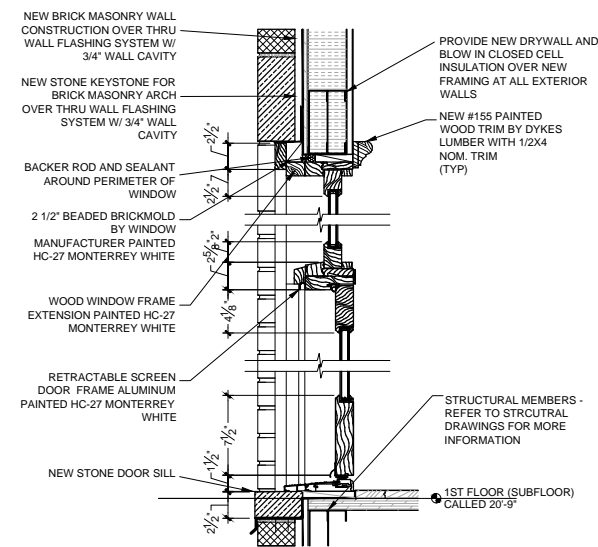
PROPOSED
 EXTENSION WALL
 SECTIONS

SEAL & SIGNATURE:

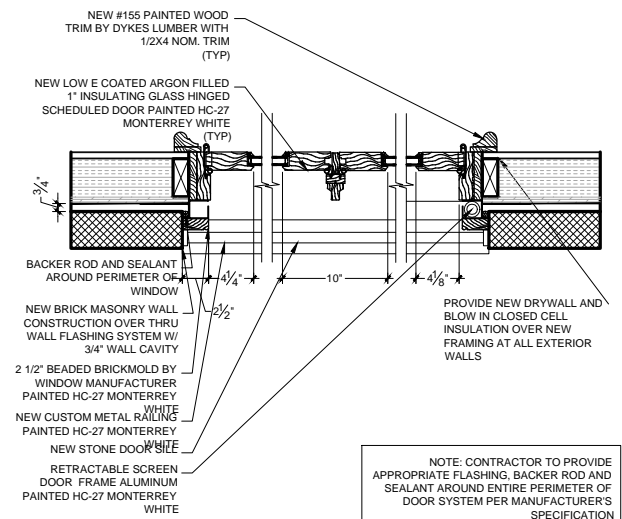
DATE: 5/19/2019
 SCALE: 3/4"=1'-0"
 PROJ. NO: -
 DRAWN BY: -
 CHK BY: -
 DWG NO: -

A-300.00

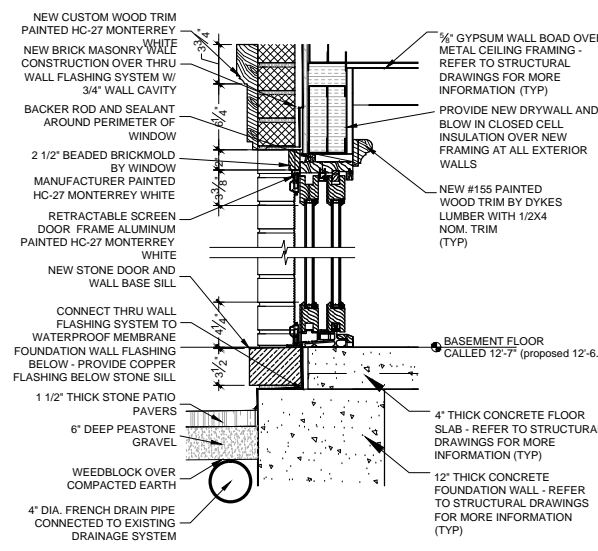
CONTRACTOR TO PROVIDE WINDOW AND DOOR SCREENS AT ALL NEW WINDOWS AND DOORS



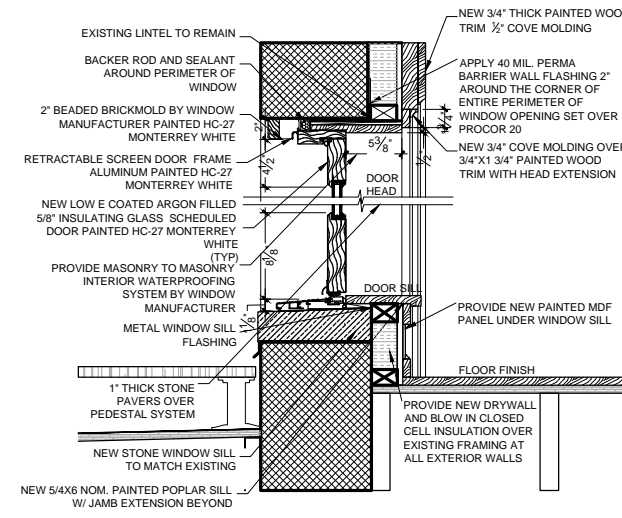
1 DOUBLE SWINGING DOOR SECTION DETAIL
 SCALE 1 1/2" = 1'-0"



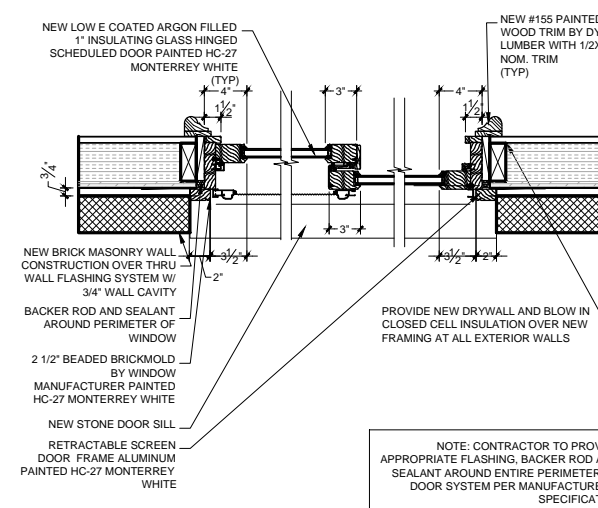
2 DOUBLE SWINGING DOOR SILL PLAN DETAIL
 SCALE 1 1/2" = 1'-0"



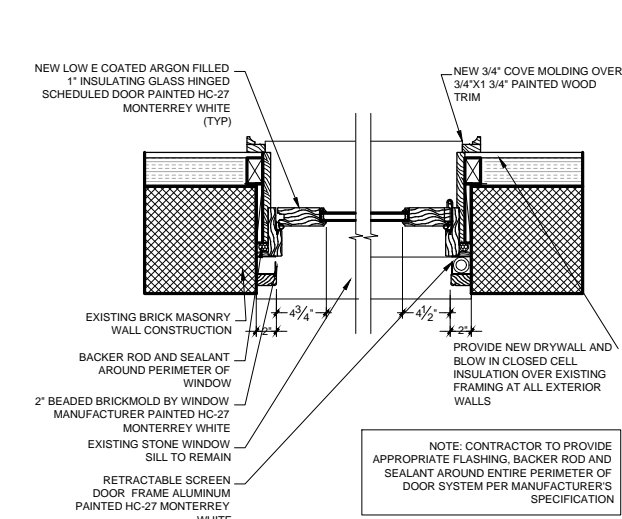
3 SLIDING PATIO DOOR SECTION DETAIL
 SCALE 1 1/2" = 1'-0"



4 TERRACE DOOR SECTION DETAIL
 SCALE 1 1/2" = 1'-0"



5 SLIDING PATIO SILL PLAN DETAIL
 SCALE 1 1/2" = 1'-0"



6 TERRACE DOOR SILL PLAN DETAIL
 SCALE 1 1/2" = 1'-0"

EXISTING WINDOW, DOOR DETAILS AND JOB DESCRIPTION
 WE HAVE OBSERVED THE JOB CONDITIONS AND CONCLUDED THAT THE EXISTING WINDOWS AT THE FRONT FACADE ARE NOT THE ORIGINAL WOOD WINDOWS.

THE FOLLOWING DESCRIBES THE WINDOW AND DOOR SCOPE:

FRONT FACADE

1. INSTALL NEW WOOD WINDOWS INTO THE EXISTING MASONRY OPENING ON THE FRONT FACADE WHERE SHOWN ON THE PROPOSED ELEVATIONS (KOLBE HERITAGE SERIES TRADITIONAL DOUBLE HUNG OR AWNING IN SELECT LOCATIONS 4 9/16" JAMB WOOD WINDOWS).
2. INSTALL NEW WOOD WINDOWS INTO THE ENLARGED MASONRY OPENING IN EXISTING LOCATIONS ON THE FRONT FACADE WHERE SHOWN ON THE PROPOSED ELEVATIONS (KOLBE HERITAGE SERIES TRADITIONAL DOUBLE HUNG OR AWNING IN SELECT LOCATIONS 4 9/16" JAMB WOOD WINDOWS).
3. EXISTING WOOD FRAME AND 2" BRICK MOLD TO BE REMOVED ON ALL EXISTING WINDOWS
4. NEW 2" CUSTOM STYLE BRICK MOLD INCLUDED WITH THE PROPOSED WINDOWS TO MATCH IN KIND THE ORIGINAL HISTORIC WOOD BRICK MOLD FOR FRONT WINDOWS.
5. NEW WINDOWS TO BE FACTORY PAINTED EXTERIOR FINISH. COLOR BENJAMIN MOORE HC-27 MONTERREY WHITE.

REAR FACADE:

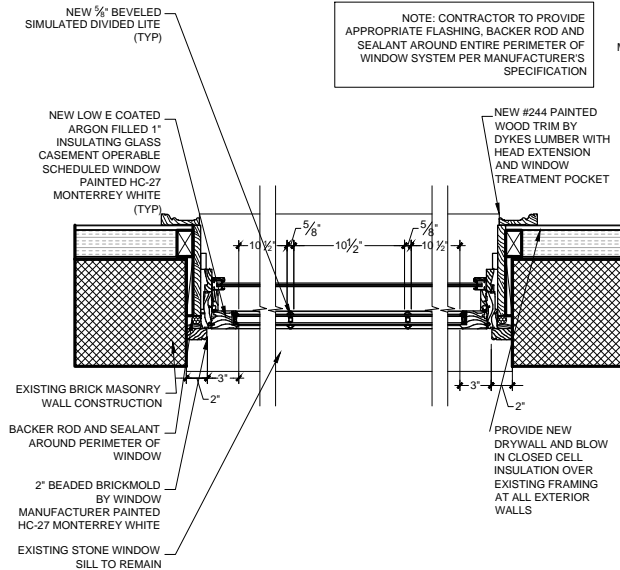
1. INSTALL ONE NEW SWINGING PATIO DOOR IN EXISTING MASONRY OPENING ON THE REAR FACADE AND TWO NEW SWINGING PATIO DOORS AND ONE NEW SLIDING PATIO DOOR IN NEW MASONRY OPENINGS IN NEW REAR FACADE TWO STORY EXTENSION (KOLBE HERITAGE SERIES PATIO SWING DOORS OR SLIDING DOORS IN SELECT LOCATIONS 4 9/16" JAMB WOOD DOORS).
2. INSTALL NEW WOOD WINDOWS INTO THE EXISTING MASONRY OPENING ON THE REAR FACADE WHERE SHOWN ON THE PROPOSED ELEVATIONS (KOLBE HERITAGE SERIES TRADITIONAL DOUBLE HUNG OR CASEMENT IN SELECT LOCATIONS 4 9/16" JAMB WOOD WINDOWS).
3. INSTALL NEW WOOD WINDOWS INTO THE NEW MASONRY OPENINGS IN NEW REAR FACADE TWO STORY EXTENSION WHERE SHOWN ON THE PROPOSED ELEVATIONS (KOLBE HERITAGE SERIES TRADITIONAL RADIUS TOP FIXED IN SELECT LOCATIONS 4 9/16" JAMB WOOD WINDOWS).
4. NEW WINDOWS AND DOORS TO BE FACTORY PAINTED EXTERIOR FINISH. COLOR BENJAMIN MOORE HC-27 MONTERREY WHITE.

NOT TO SCALE
 FEB 5, 2020

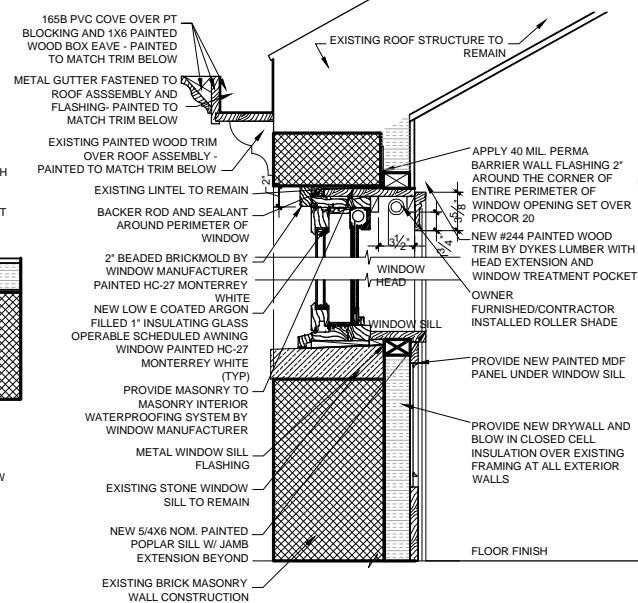
PROJECT:
 RESIDENCE
 16 LEROY ST.
 NEW YORK, NY

PROPOSED
 EXTERIOR
 DOOR DETAILS
 & JOB DESCRIPTION

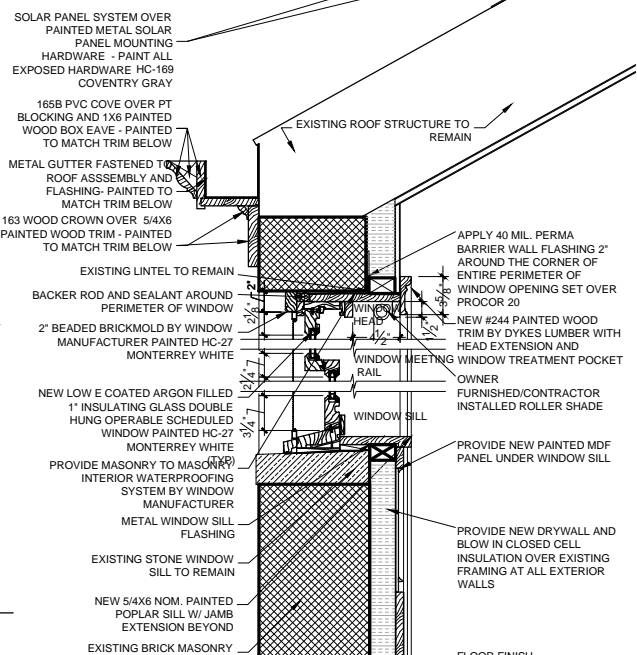
SEAL & SIGNATURE: _____ DATE: 5/19/2019
 SCALE: 1-1/2"=1'-0"
 PROJ. NO: _____
 DRAWN BY: _____
 CHK BY: _____
 DWG NO: _____



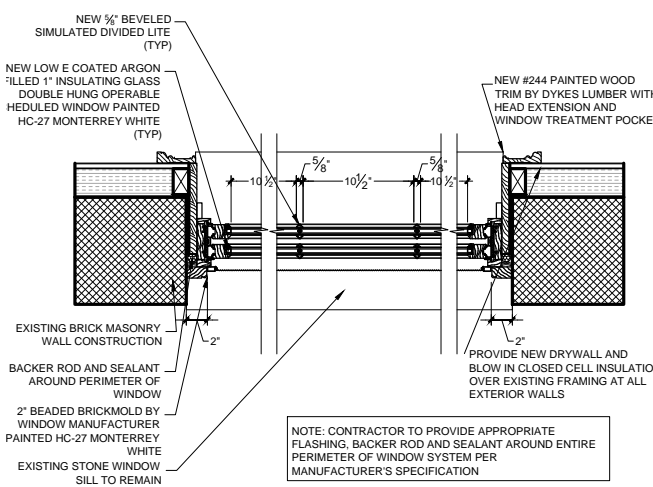
1 REPLACEMENT AWNING WINDOW PLAN DETAIL
 SCALE 1/2" = 1'-0"



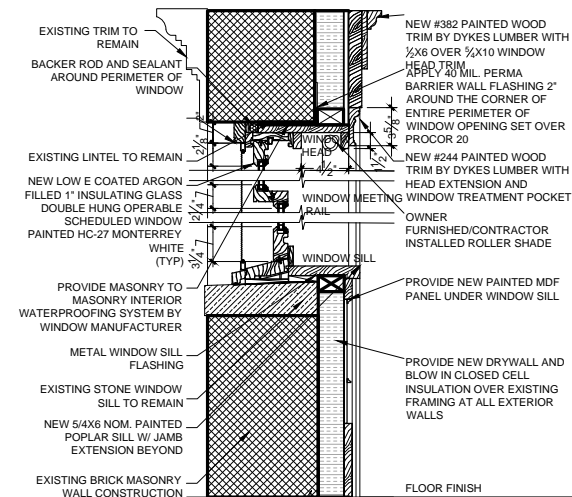
2 REPLACEMENT AWNING WINDOW SECTION DETAIL
 SCALE 1/2" = 1'-0"



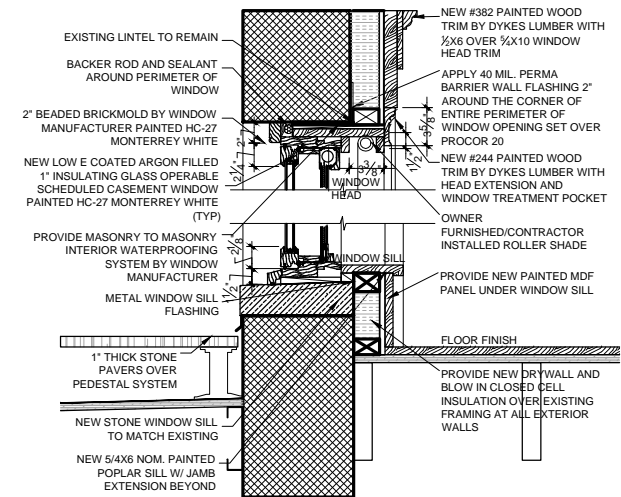
3 REPLACEMENT DOUBLE HUNG WINDOW SECTION DETAIL
 SCALE 1/2" = 1'-0"



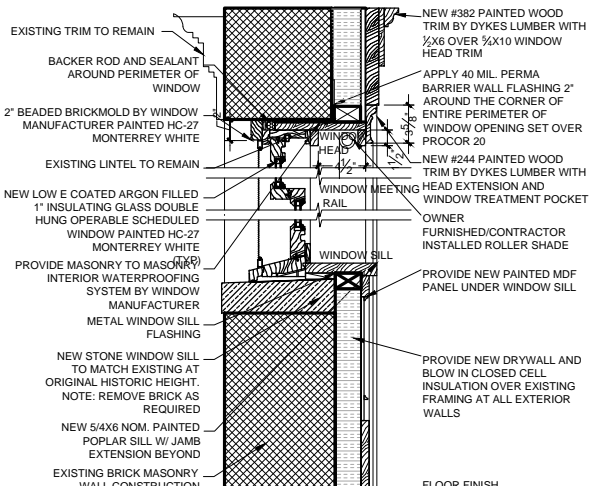
4 REPLACEMENT/NEW DOUBLE HUNG WINDOW PLAN DETAIL
 SCALE 1/2" = 1'-0"



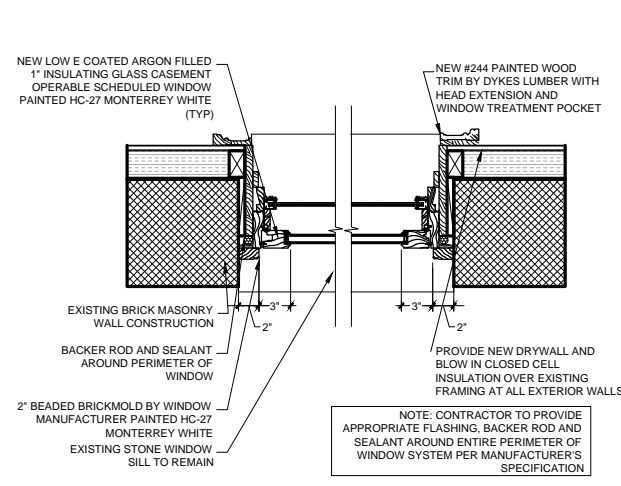
5 REPLACEMENT WINDOW SECTION DETAIL
 SCALE 1/2" = 1'-0"



6 TALL CASEMENT WINDOW SECTION DETAIL
 SCALE 1/2" = 1'-0"



7 WINDOW SECTION DETAIL
 SCALE 1/2" = 1'-0"



8 REPLACEMENT CASEMENT WINDOW PLAN DETAIL
 SCALE 1/2" = 1'-0"

CONTRACTOR TO PROVIDE WINDOW AND DOOR SCREENS AT ALL NEW WINDOWS AND DOORS

NOT TO SCALE
 FEB 5, 2020

PROJECT:
 RESIDENCE
 16 LEROY ST.
 NEW YORK, NY
 PROPOSED
 EXTERIOR WINDOW
 DETAILS

SEAL & SIGNATURE: DATE: 5/19/2019
 SCALE: 1-1/2"=1'-0"
 PROJ. NO: -
 DRAWN BY: -
 CHK BY: -
 DWG NO: -

LPC-121.00